

**CITY OF MEMPHIS  
COUNCIL AGENDA CHECK OFF SHEET**

**ONE ORIGINAL  
ONLY STAPLED  
TO DOCUMENTS**

**Planning & Development  
DIVISION**

Planning & Zoning COMMITTEE: 02/01/2022  
DATE  
PUBLIC SESSION: 02/01/2022  
DATE

**ITEM (CHECK ONE)**

ORDINANCE       CONDEMNATIONS       GRANT ACCEPTANCE / AMENDMENT  
 RESOLUTION       GRANT APPLICATION       REQUEST FOR PUBLIC HEARING  
 OTHER: \_\_\_\_\_

**ITEM DESCRIPTION:** A resolution approving a Special Use Permit. The item was heard and a recommendation was made by the Memphis & Shelby County Land Use Control Board.

**CASE NUMBER:** SUP 21-36

**DEVELOPMENT:** 150-foot Monopole Communications (CMCS) Tower

**LOCATION:** 1609 Corning Avenue

**COUNCIL DISTRICTS:** District 7 and Super District 8 – Positions 1, 2, and 3

**OWNER/APPLICANT:** Jerry L. Grantham

**REPRESENTATIVE:** Lou Katzerman, TVT II, LLC – Tower Ventures

**EXISTING ZONING:** Residential Single-Family – 6 (R-6)

**REQUEST:** To allow a 150-foot Monopole Communications (CMCS) Tower

**AREA:** +/-1.52 acres

**RECOMMENDATION:** The Division of Planning and Development recommended *Approval with conditions*  
The Land Use Control Board recommended *Approval with conditions*

**RECOMMENDED COUNCIL ACTION:** **Public Hearing Not Required**

**PRIOR ACTION ON ITEM:**

(1) \_\_\_\_\_ APPROVAL - (1) APPROVED (2) DENIED  
01/13/2022 \_\_\_\_\_ DATE  
(1) Land Use Control Board \_\_\_\_\_ ORGANIZATION - (1) BOARD / COMMISSION  
(2) GOV'T. ENTITY (3) COUNCIL COMMITTEE

**FUNDING:**

(2) \_\_\_\_\_ REQUIRES CITY EXPENDITURE - (1) YES (2) NO  
\$ \_\_\_\_\_ AMOUNT OF EXPENDITURE  
\$ \_\_\_\_\_ REVENUE TO BE RECEIVED

**SOURCE AND AMOUNT OF FUNDS**

\$ \_\_\_\_\_ OPERATING BUDGET  
\$ \_\_\_\_\_ CIP PROJECT # \_\_\_\_\_  
\$ \_\_\_\_\_ FEDERAL/STATE/OTHER

**ADMINISTRATIVE APPROVAL:**

	<u>DATE</u>	<u>POSITION</u>
	1/19/2022	PRINCIPAL PLANNER
		DEPUTY ADMINISTRATOR
	1/20/22	ADMINISTRATOR
_____	_____	DIRECTOR (JOINT APPROVAL)
_____	_____	COMPTROLLER
_____	_____	FINANCE DIRECTOR
_____	_____	CITY ATTORNEY

\_\_\_\_\_  
CHIEF ADMINISTRATIVE OFFICER

\_\_\_\_\_  
COMMITTEE CHAIRMAN



## Memphis City Council Summary Sheet

### *SUP 21-36*

Resolution requesting a 150-foot Monopole Communications (CMCS) Tower:

- This item is a resolution with conditions for a special use permit to allow the above; and
- The Division of Planning & Development at the request of the Owner(s)/Applicant(s): Jerry L. Grantham and Representative(s): Lou Katzerman, TVT II, LLC – Tower Ventures; and
- Approval of this special use permit will be reflected on the Memphis and Shelby County Zoning Atlas; and
- The item may require future public improvement contracts.

**RESOLUTION APPROVING A SPECIAL USE PERMIT AT THE SUBJECT PROPERTY  
LOCATED AT 1609 CORNING AVE, KNOWN AS CASE NUMBER SUP 21-36.**

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**WHEREAS**, Chapter 9.6 of the Memphis and Shelby County Unified Development Code, being a section of the Joint Ordinance Resolution No. 5367, dated August 10, 2010, authorizes the Council of the City of Memphis to grant a special use permit for certain stated purposes in the various zoning districts; and

**WHEREAS**, TVT II, LLC (Tower Ventures) filed an application with the Memphis and Shelby County Office of Planning and Development to allow a 150-foot Monopole Communications (CMCS) Tower; and

**WHEREAS**, the Division of Planning and Development has received and reviewed the application in accordance with procedures, objectives, and standards for special use permits as set forth in Chapter 9.6 with regard to the proposed development's impacts upon surrounding properties, availability of public facilities, both external and internal circulation, land use compatibility, and that the design and amenities are consistent with the public interest; and has submitted its findings and recommendation concerning the above considerations to the Land Use Control Board; and

**WHEREAS**, a public hearing in relation thereto was held before the Memphis and Shelby County Land Use Control Board on January 13, 2022 and said Board has submitted its findings and recommendation concerning the above considerations to the Council of the City of Memphis; and

**WHEREAS**, the Council of the City of Memphis has reviewed the aforementioned application pursuant to Tennessee Code Annotated Section 13-4-202(B)(2)(B)(iii) and has determined that said development is consistent with the Memphis 3.0 General Plan; and

**WHEREAS**, the Council of the City of Memphis has reviewed the recommendation of the Land Use Control Board and the report and recommendation of the Division of Planning and Development and has determined that said development meets the objectives, standards and criteria for a special use permit, and said development is consistent with the public interests.

**NOW, THEREFORE, BE IT RESOLVED, BY THE COUNCIL OF THE CITY OF MEMPHIS**, that, pursuant to Chapter 9.6 of the Memphis and Shelby County Unified Development Code, a special use permit is hereby granted for the request use in accordance with the attached conditions.

**BE IT FURTHER RESOLVED**, that this permit merely authorizes the filing of applications to acquire a Certificate of Use and Occupancy, or a Building Permit, and other required permits and approvals, provided that no such Certificate of Use and Occupancy shall be granted until all conditions imposed by the Council of the City of Memphis have been met.

**BE IT FURTHER RESOLVED**, that this Resolution take effect from and after the date it shall have been passed by this Council of the City of Memphis, and become effective as otherwise provided by law, and thereafter shall be treated as in full force and effect by virtue of passage thereof by the Council of the City of Memphis, the public welfare requiring same.

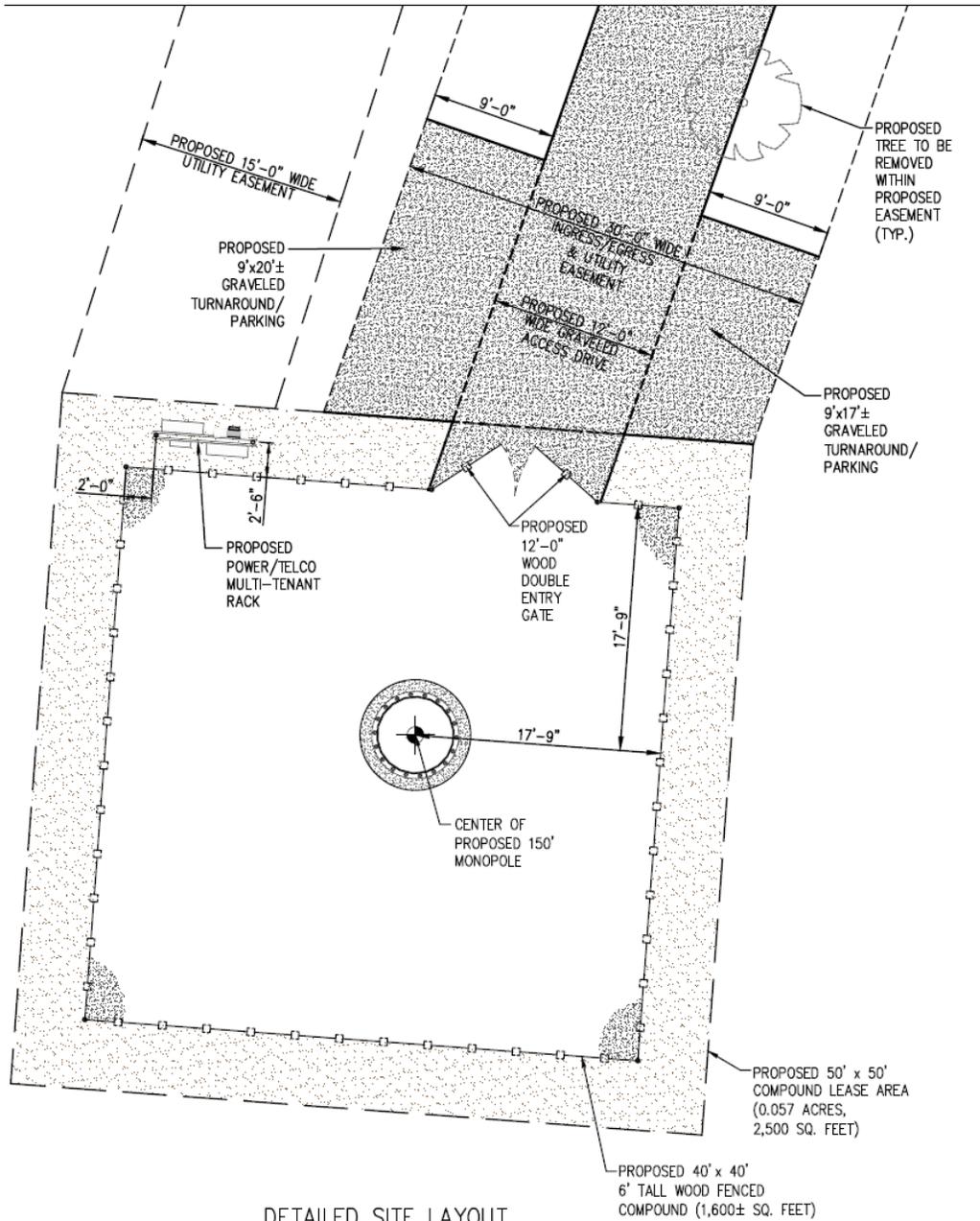
***ATTEST:***

**CC: Division of Planning and Development  
– Land Use and Development Services  
– Office of Construction Enforcement**

## CONDITIONS

1. The site shall preserve and maintain as much of the existing mature trees as coverage to this location to meet the landscaping requirements.
2. The equipment compound shall be enclosed by a 6-foot wooden privacy around the lease area to conceal the ground equipment. The compound gates will be wooden as well.
3. The maximum tower height shall be one-hundred fifty (150) feet Monopole Communications (CMCS) tower.
4. The tower and related equipment shall be removed within one-hundred eighty (180) days of ceasing operations.
5. The tower shall be constructed within two (2) years of approval by the Memphis City Council. The Land Use Control Board may grant a time extension through the applicant filing a correspondence item application with public notice sent to all property owners within five hundred feet (500') feet of the property.
6. Any interference with Memphis-Shelby County emergency communications by a station using this tower shall be the responsibility of the station and tower owner to remedy.

# SITE PLAN



## DETAILED SITE LAYOUT

(SCALE: 1" = 10'-0")

## ***LAND USE CONTROL BOARD RECOMMENDATION***

At its regular meeting on ***Thursday, January 13, 2022***, the Memphis and Shelby County Land Use Control Board held a public hearing on the following application:

**CASE NUMBER:** SUP 21-36

**LOCATION:** 1609 Corning Avenue

**COUNCIL DISTRICT(S):** District 7 and Super District 8 – Positions 1, 2, and 3

**OWNER/APPLICANT:** Jerry L. Grantham

**REPRESENTATIVE:** TVT II, LLC -Tower Ventures

**REQUEST:** To allow a 150-foot Monopole Communications (CMCS) Tower

**EXISTING ZONING:** Residential Single-Family – 6 (R-6)

**AREA:** +/-1.52 acres

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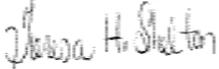
**The following spoke in support of the application:** None

**The following spoke in opposition the application:** None

The Land Use Control Board reviewed the application and the staff report. A motion was made and seconded to recommend approval with conditions.

**The motion passed by a vote of 9 - 0 on the consent agenda.**

Respectfully,



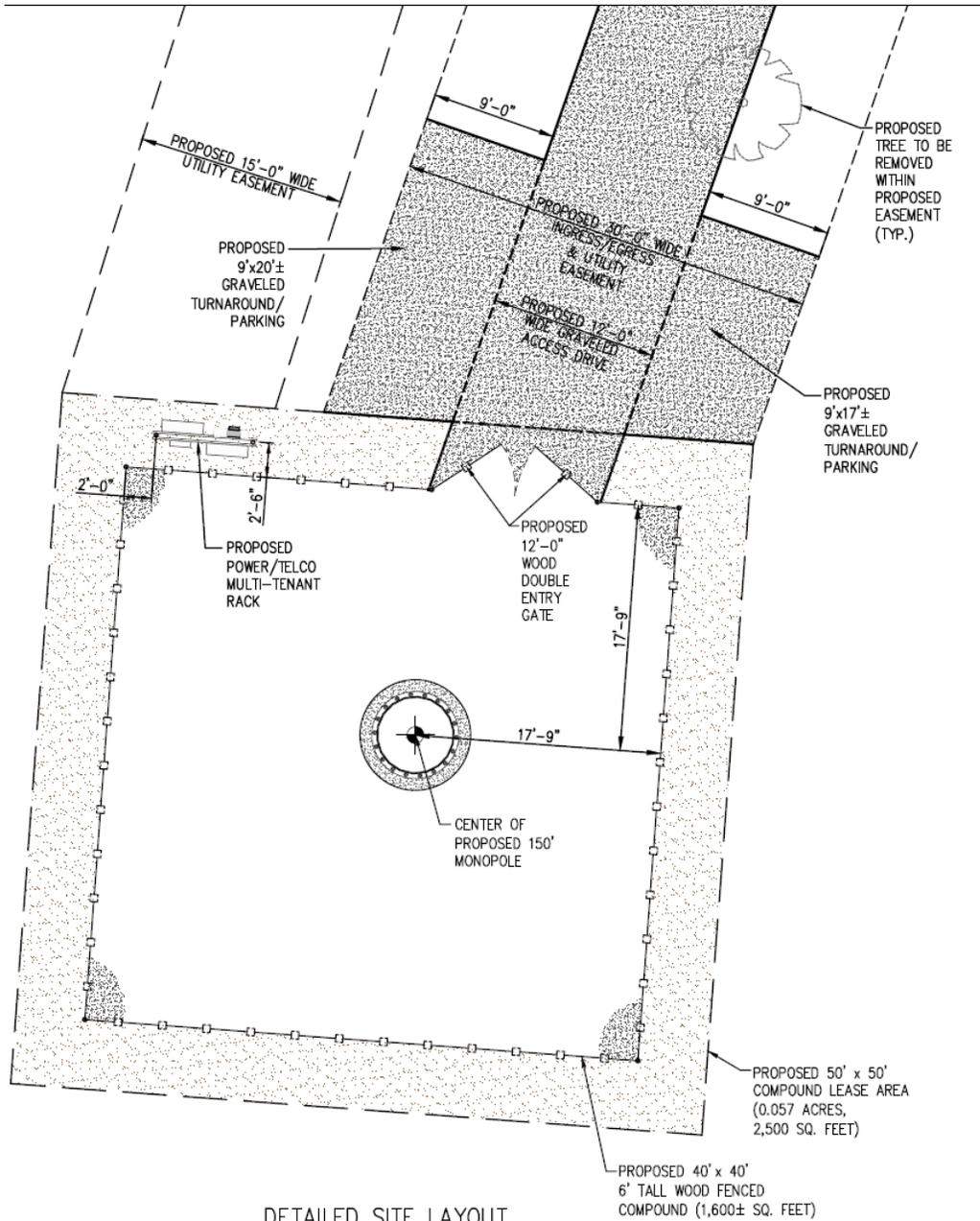
Teresa H. Shelton  
Municipal Planner  
Land Use and Development Services  
Division of Planning and Development

Cc: Committee Members  
File

**SUP 21-36**  
**CONDITIONS**

1. The site shall preserve and maintain as much of the existing mature trees as coverage to this location to meet the landscaping requirements.
2. The equipment compound shall be enclosed by a 6-foot wooden privacy around the lease area to conceal the ground equipment. The compound gates will be wooden as well.
3. The maximum tower height shall be one-hundred fifty (150) feet Monopole Communications (CMCS) tower.
4. The tower and related equipment shall be removed within one-hundred eighty (180) days of ceasing operations.
5. The tower shall be constructed within two (2) years of approval by the Memphis City Council. The Land Use Control Board may grant a time extension through the applicant filing a correspondence item application with public notice sent to all property owners within five hundred feet (500') feet of the property.
6. Any interference with Memphis-Shelby County emergency communications by a station using this tower shall be the responsibility of the station and tower owner to remedy.

# SITE PLAN



**DETAILED SITE LAYOUT**  
(SCALE: 1" = 10'-0")

**AGENDA ITEM:** 12

**CASE NUMBER:** SUP 21-36 **L.U.C.B. MEETING:** January 13, 2022  
**LOCATION:** 1609 Corning Ave.  
**COUNCIL DISTRICT:** District 7 and Super District 8 – Positions 1, 2, and 3  
**OWNER/APPLICANT:** Jerry L. Grantham/TVT II, LLC – Towers Ventures  
**REPRESENTATIVE:** Lou Katzerman, Zoning Manager  
**REQUEST:** 150-foot Monopole Communications (CMCS) Tower  
**AREA:** +/-1.52 acres in total  
**EXISTING ZONING:** Residential Single-Family – 6 (R-6)

## CONCLUSIONS

1. The request is for a 150-foot Monopole Communications (CMCS) tower within a Residential Single-Family – 6 (R-6) zoning district.
2. Staff agrees the approval criteria in regard to special use permits as set out in the Unified Development Code Section 9.6.9 are met.
3. Staff agrees the requirements for special use permits for cell towers as set out in the Unified Development Code Paragraph 2.6.2I(1) are met.
4. The proposal will not have a substantial or undue adverse effect upon adjacent property, the character of the neighborhood, traffic conditions, parking, and other matters affecting the safety, and general welfare of the community.

## CONSISTENCY WITH MEMPHIS 3.0

The Memphis 3.0 Plan does not provide recommendations related to cell towers.

## RECOMMENDATION

*Approval with conditions*

## GENERAL INFORMATION

**Street Frontage:** Corning Avenue +/-150.7 curvilinear feet

**Zoning Atlas Page:** 1730

**Parcel ID:** 070053 00002

**Existing Zoning:** Residential Single-Family – 6 (R-6)

## NEIGHBORHOOD MEETING

The meeting was held at 5:30 PM to 6:30 PM on Monday, January 3, 2022, at the Temple of Praise Ministries, located at 1738 Winston Dr., Memphis, TN 38127.

*There were no attendees present*

## PUBLIC NOTICE

In accordance with Sub-Section 9.3.4A of the Unified Development Code, a notice of public hearing is required to be mailed and signs posted. A total of 98 notices were mailed on December 29, 2021, and a total of 1 sign posted at the subject property. The sign affidavit has been added to this report.

Sign Affidavit for S.U.P. Case Number: 21-036

**MEMPHIS AND SHELBY COUNTY** DIVISION OF PLANNING AND DEVELOPMENT  
CITY HALL, 125 N. MAIN STREET, SUITE 400; MEMPHIS, TN 38103-2084; (901) 636-6619

**PUBLIC NOTICE**

**AN APPLICATION HAS BEEN FILED FOR A SPECIAL USE PERMIT ON THIS PROPERTY.**

**A PUBLIC HEARING WILL BE HELD.**

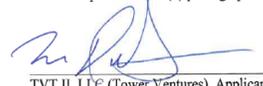
**CASE NO: SUP 2021-036**

**INFORMATION: 636-6619**

DEFACING, TAMPERING WITH OR REMOVAL OF THIS SIGN BY ANYONE OTHER THAN THE PROPERTY OWNER OR HIS AGENT IS PROHIBITED BY CITY OF MEMPHIS & SHELBY COUNTY ORDINANCES

County of Shelby  
State of Tennessee

I, Louis B. Katzerman, being duly sworn, depose and say that at approximately 09:30 am on the 31st day of December 2021 I posted one (1) Public Notice Sign pertaining to Case No. SUP 21-036 at 1609 Corning Ave Memphis, TN 38127 (Parcel ID #0700053 00002), providing notice of a Public Hearing before the Land Use Control Board (Hearing on January 13<sup>th</sup>, 2022) for consideration of a proposed SUP/CMCS Tower Request and one (1) photograph of said sign.

  
TVT II, LLC (Tower Ventures), Applicant  
Louis Katzerman, Sr. Zoning Manager

12/31/2021  
Date

Subscribed and sworn to before me this 31st day of December 2021

  
Notary Public

My Commission Expires:

10/2024

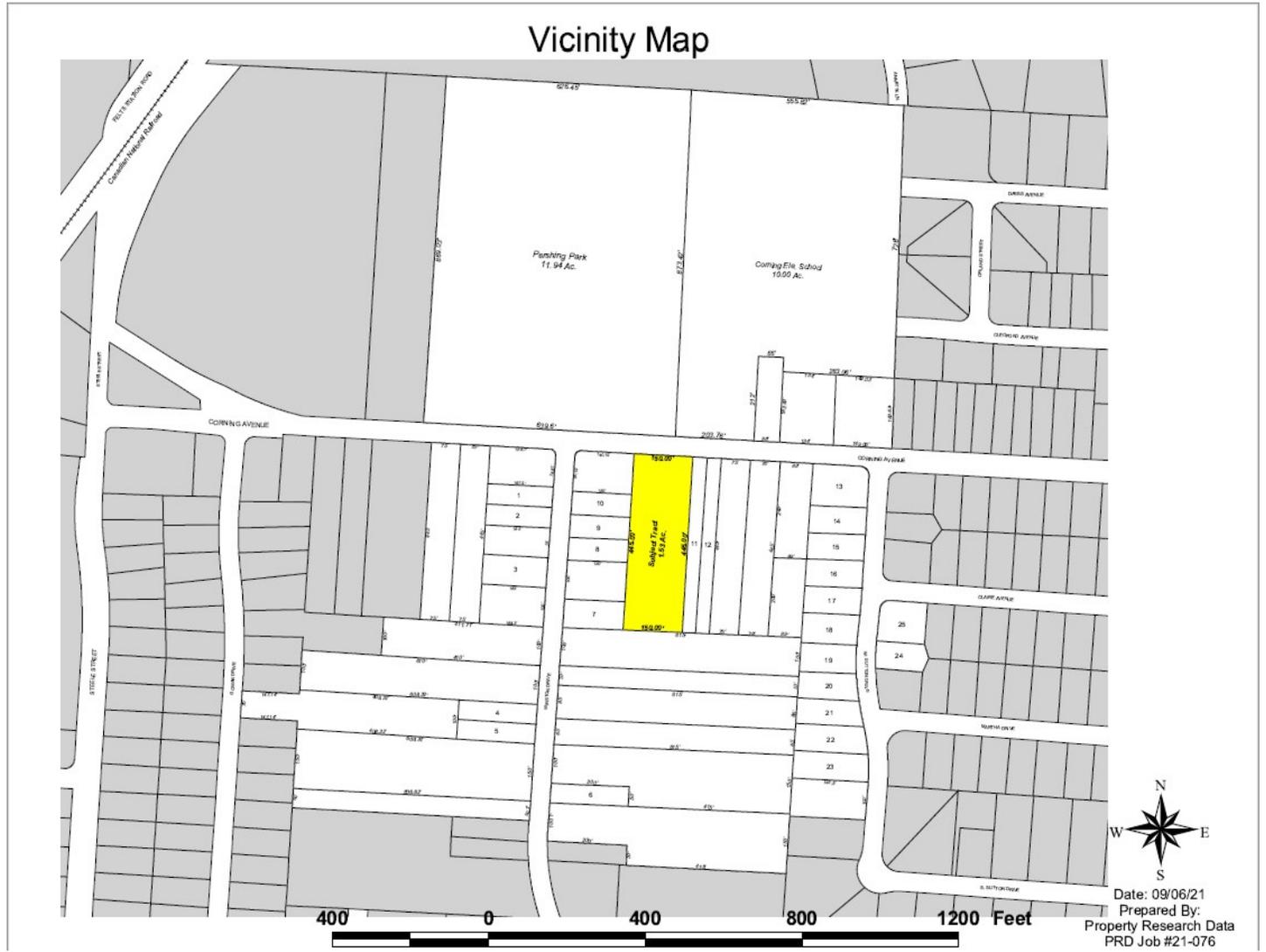


**LOCATION MAP**



Subject property located within the pink circle

**VICINITY MAP**



Site highlighted in yellow

**AERIAL**



Subject property outlined in orange

### ZONING MAP



Subject property indicated by a pink star

**Existing Zoning:** Residential Single-Family – 6 (R-6)

#### **Surrounding Zoning**

**North:** R-10

**East:** R-6

**South:** R-6

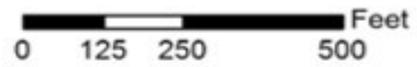
**West:** R-6, RW

### LAND USE MAP



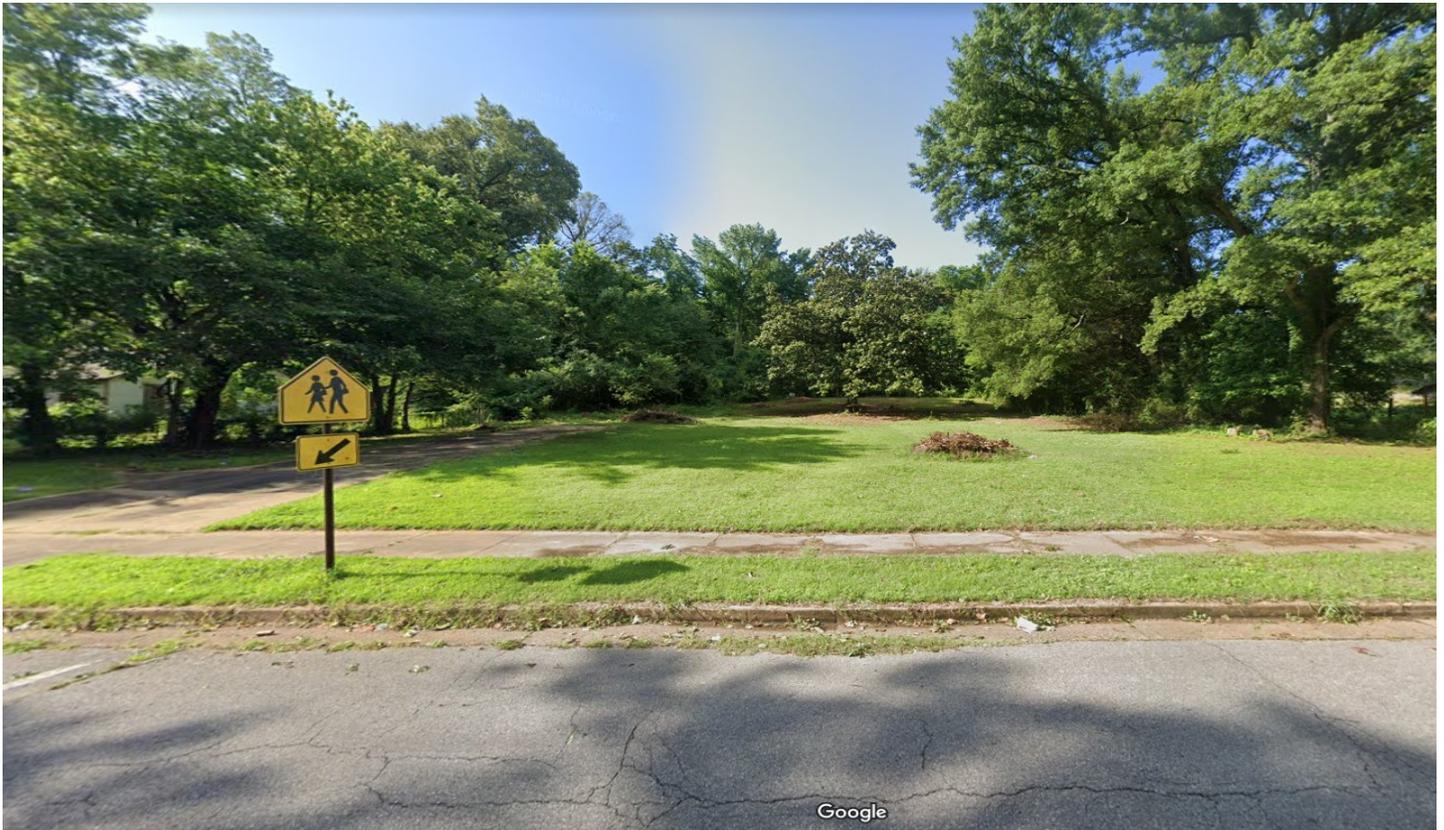
#### LandUse

- |  |  |
|--|--|
|  SINGLE-FAMILY             |  OFFICE     |
|  MULTI-FAMILY              |  INDUSTRIAL |
|  INSTITUTIONAL             |  PARKING    |
|  COMMERCIAL                |  VACANT     |
|  RECREATIONAL / OPEN SPACE |  |



Subject property indicated by a pink star

**SITE PHOTOS**



View of proposed site looking north

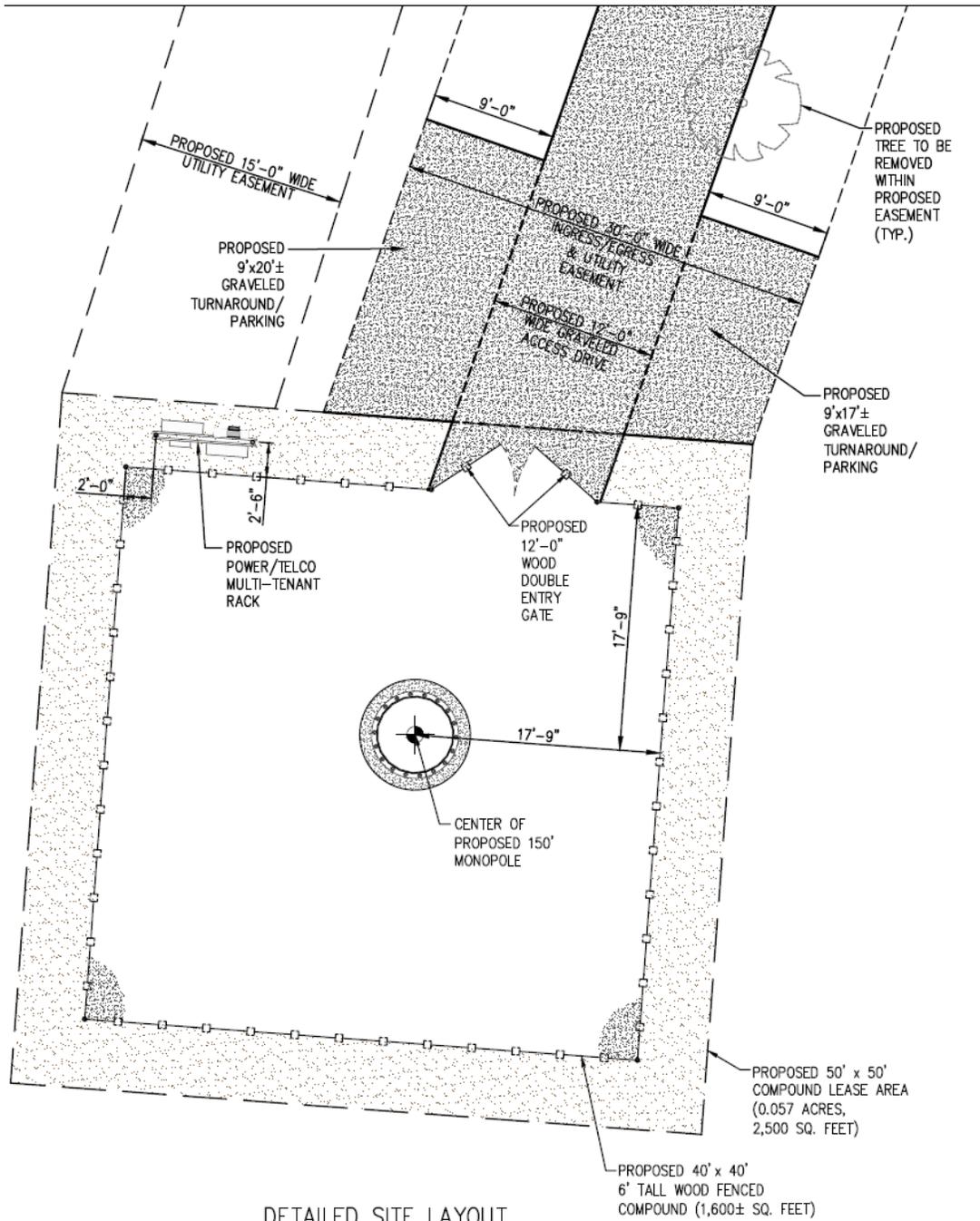


View of proposed site looking northwest



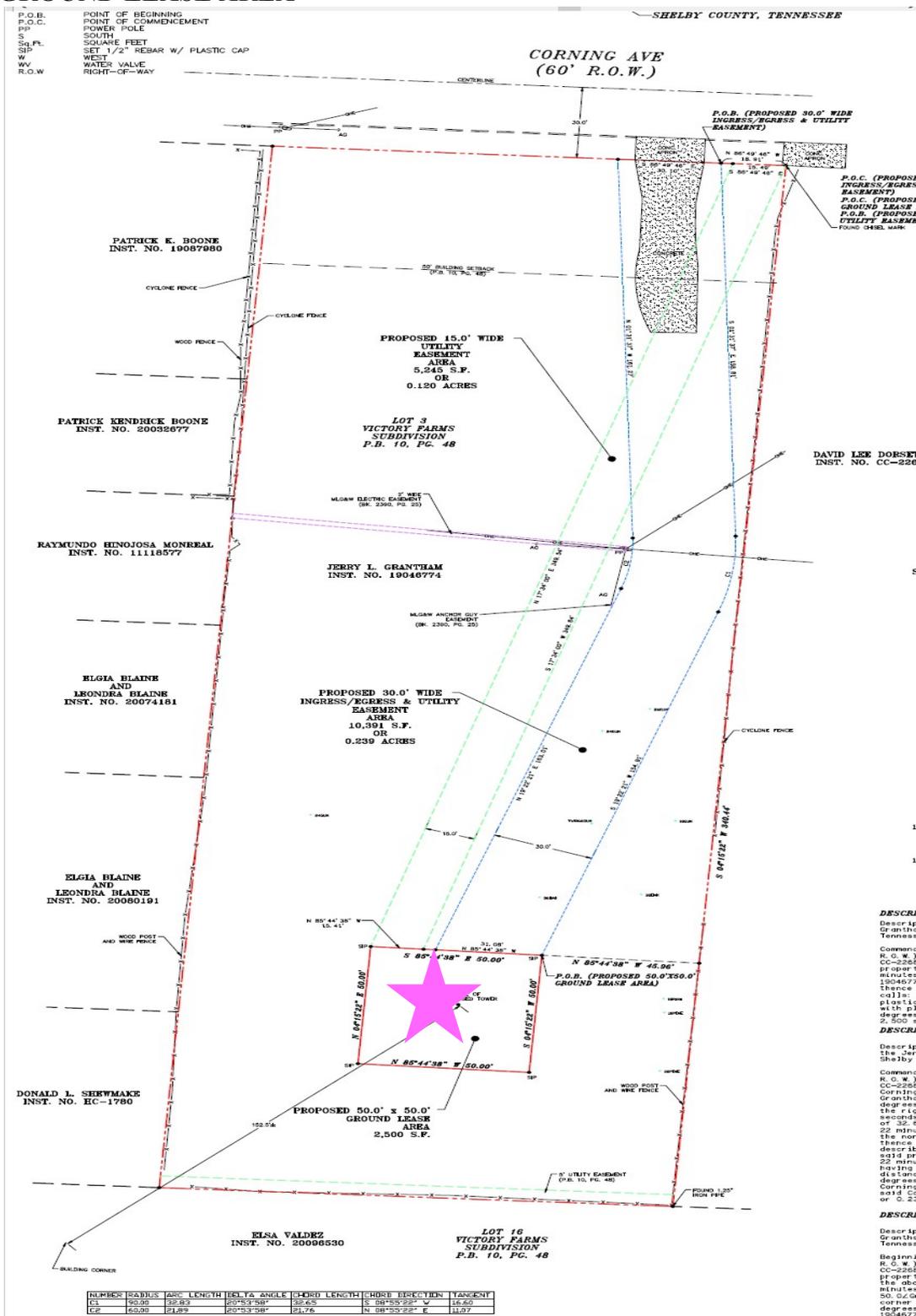
View of proposed site location up-close

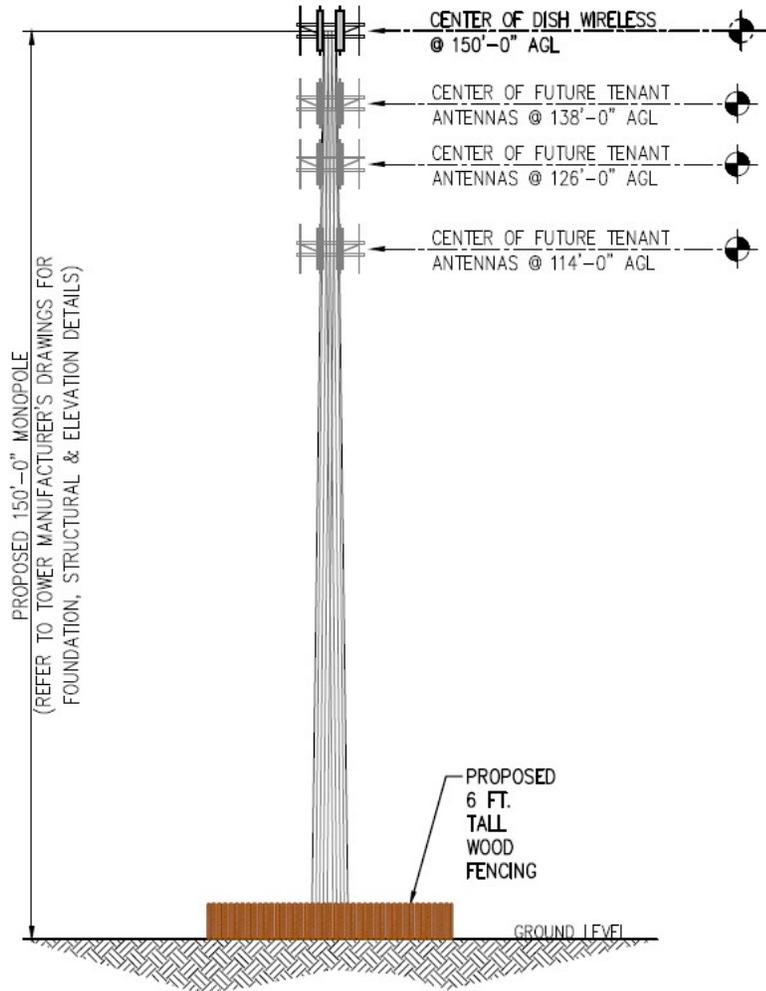
### DETAILED SITE LAYOUT



DETAILED SITE LAYOUT  
(SCALE: 1" = 10'-0")

**PROPOSED GROUND LEASE AREA**





**150' MONOPOLE ELEVATION**  
(SCALE: 1" = 30'-0")

## COVERAGE SUMMARY



# NAMEM00421A- Coverage

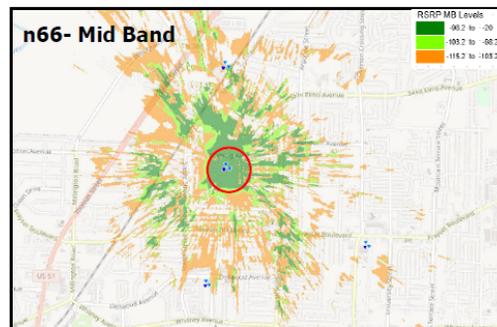
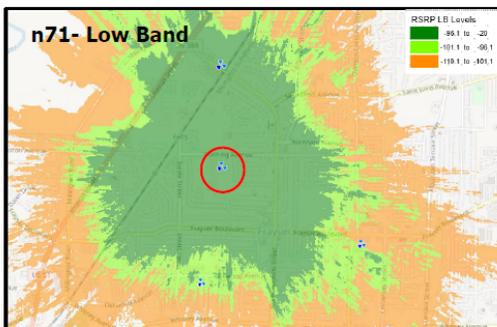
September 13th, 2021

## Summary:

- Predictions were run on site NAMEM00421A located at Lat: 35.224150 and long: -90.00930
- Site covers a total of 21,105 Pops on Low Band and 4,574 Pops on Mid band

*Pops Count- Best Server Site Level:*

Best Server for Site MEM00421A	Low Band (n71) Traffic Counts (Subscribers)	Mid Band (n66) Traffic Counts (Subscribers)
NAMEM00421A	21,104.81	4,573.78



Description of a Proposed 50.0' x 50.0' Ground Lease Area on part of the Jerry L. Grantham property recorded in Instrument No. 19046774 located in Memphis, Shelby County, Tennessee:

Commencing at found chisel mark at the intersection of the south line of Corning Ave (60' R.O.W.) and the west line of the David Lee Dorsett property recorded in Instrument No. CC-2268; thence south 04 degrees 15 minutes 22 seconds west with the west line of said property recorded in Instrument No. CC-2268, 340.44 feet; thence north 85 degrees 44 minutes 38 seconds west across the Jerry L. Grantham property recorded in Instrument No. 19046774, 45.96 feet to a set 1/2" rebar with plastic cap and the Point of Beginning; thence continuing across said property recorded in Instrument No. 19046774 the following calls: south 04 degrees 15 minutes 22 seconds west, 50.00 feet to a set 1/2" rebar with plastic cap; north 85 degrees 44 minutes 38 seconds west, 50.00 feet to a set 1/2" rebar with plastic cap; north 04 degrees 15 minutes 22 seconds east, 50.00 feet; south 85 degrees 44 minutes 38 seconds east, 50.00 feet to the point of beginning and containing 2,500 square feet of land.

Description of a Proposed 30.0' Wide Ingress/Egress and Utility Easement across part of the Jerry L. Grantham property recorded in Instrument No. 19046774 located in Memphis, Shelby County, Tennessee:

Commencing at found chisel mark at the intersection of the south line of Corning Ave (60' R.O.W.) and the west line of the David Lee Dorsett property recorded in Instrument No. CC-2268; thence north 86 degrees 49 minutes 46 seconds west with the south line of said Corning Ave, 18.91 feet to the Point of Beginning; thence southwardly across the Jerry L. Grantham property recorded in Instrument No. 19046774 the following calls: south 01 degrees 31 minutes 37 seconds east, 158.81 feet to a point of curvature; along a curve to the right having a radius of 90.00 feet, a delta angle of 20 degrees 53 minutes 58 seconds, a chord bearing of south 08 degrees 55 minutes 22 seconds west, a chord distance of 32.65 feet and an arc distance of 32.83 feet to a point of tangency; south 19 degrees 22 minutes 21 seconds west, 154.91 feet to a set 1/2" rebar with plastic cap located at the northeast corner of the above described Proposed 50.0' x 50.0' Ground Lease Area; thence north 85 degrees 44 minutes 38 seconds west with north line of said above described Proposed 50.0' x 50.0' Ground Lease Area, 31.08 feet; thence northwardly across said property recorded in Instrument No.

19046774 the following calls: north 19 degrees 22 minutes 21 seconds east, 163.01 feet to a point of curvature; along a curve to the left having a radius of 60.00 feet, a delta angle of 20 degrees 53 minutes 58 seconds, a chord distance of 21.76 feet and an arc distance of 21.89 feet to a point of tangency; north 01 degrees 31 minutes 37 seconds west, 161.27 feet to a point in the south line of said Corning Ave; thence south 86 degrees 49 minutes 46 seconds east with the south line of said Corning Ave, 30.10 feet to the point of beginning and containing 10,391 square feet or 0.239 acres of land.

Description of a Proposed 15.0' Wide Utility Easement across part of the Jerry L. Grantham property recorded in Instrument No. 19046774 located in Memphis, Shelby County, Tennessee:

Beginning at found chisel mark at the intersection of the south line of Corning Ave (60' R.O.W.) and the west line of the David Lee Dorsett property recorded in Instrument No. CC-2268; thence south 17 degrees 34 minutes 00 seconds west across the Jerry L. Grantham property recorded in Instrument No. 19046774, 349.84 feet to a point in the north line of the above described Proposed 50.0' x 50.0' Ground Lease Area; thence north 85 degrees 44 minutes 38 seconds west with the north line of said the above described Proposed 50.0' x 50.0' Ground Lease Area, 15.41 feet to a set 1/2" rebar with plastic cap in the northwest corner the said above described Proposed 50.0' x 50.0' Ground Lease Area; thence north 17 degrees 34 minutes 00 seconds east across said property recorded in Instrument No. 19046774, 349.54 feet to a point in the south line of said Corning Ave; thence south 86 degrees 49 minutes 46 seconds east with the south line of said Corning Ave, 15.49 feet to the point of beginning and containing 5,245 square feet or 0.120 acres of land.

## STAFF ANALYSIS

### Request

The application and letter of intent have been added to this report.

The request is for a 150-foot Monopole Communications (CMCS) Tower in a Residential – 6 (R-6) zoning district. The applicant proposes to install a 150-foot Monopole Communications (CMCS) Tower in a 50'x50' lease area enclosed by a 6-foot wooden privacy fence around the lease area to conceal the ground equipment. The compound gates will also be wooden.

### Approval Criteria

Staff agrees the approval criteria in regard special use permits as set out in Section 9.6.9 of the Unified Development Code are met.

#### *9.6.9 Approval Criteria*

*No special use permit or planned development shall be approved unless the following findings are made concerning the application:*

- 9.6.9A The project will not have a substantial or undue adverse effect upon adjacent property, the character of the neighborhood, traffic conditions, parking, utility facilities and other matters affecting the public health, safety, and general welfare.*
- 9.6.9B The project will be constructed, arranged and operated so as to be compatible with the immediate vicinity and not interfere with the development and use of adjacent property in accordance with the applicable district regulations.*
- 9.6.9C The project will be served adequately by essential public facilities and services such as streets, parking, drainage, refuse disposal, fire protection and emergency services, water and sewers; or that the applicant will provide adequately for such services.*
- 9.6.9D The project will not result in the destruction, loss or damage of any feature determined by the governing bodies to be of significant natural, scenic or historic importance.*
- 9.6.9E The project complies with all additional standards imposed on it by any particular provisions authorizing such use.*
- 9.6.9F The request will not adversely affect any plans to be considered (see Chapter 1.9), or violate the character of existing standards for development of the adjacent properties.*
- 9.6.9G The governing bodies may impose conditions to minimize adverse effects on the neighborhood or on public facilities, and to insure compatibility of the proposed development with surrounding properties, uses, and the purpose and intent of this development code.*
- 9.6.9H Any decision to deny a special use permit request to place, construct, or modify personal wireless service facilities shall be in writing and supported by substantial evidence contained in a written record, per the Telecommunications Act of 1996, 47 USC 332(c)(7)(B)(iii). The review body may not take into account any environmental or health concerns.*

### Additional Approval Criteria for CMCS Towers

Staff agrees the requirements for special use permits for cell towers as set out in the Unified Development Code Paragraph 2.6.2I (2) are met.

#### *Item 2.6.2I(2)(b) General Requirements*

*The location, size and design of such facilities shall be such that minimal negative impacts result from the facility. Any application for a new tower shall not be approved nor shall any building permit for a new tower be issued unless the applicant certifies that the equipment planned for the proposed tower cannot be accommodated on an existing or approved tower or other structure due to one or more of the following reasons:*

- 1. The planned equipment would exceed the structural capacity of existing and approved structures, considering existing and planned use of those structures, and those structures cannot be reinforced to accommodate planned or equivalent equipment at a reasonable cost.*
- 2. The planned equipment would result in technical or physical interference with or from other existing or planned equipment and the interference cannot be prevented at a reasonable cost.*
- 3. There are no appropriate existing or pending structures to accommodate the planned equipment, taking into account, among other factors, the applicant's system requirements.*
- 4. Other reasons that make it impractical to place equipment planned by the applicant on existing and approved structures.*

*Item 2.6.2I(2)(d) Co-Location – CMCS Towers Only*

*1. Any proposed CMCS tower shall be structurally designed to accommodate at least three additional CMCS sectorized antennas, if at least 100 feet in height, at least five additional CMCS sectorized antennas if at least 150 feet in height, at least six additional CMCS sectorized antennas if at least 170 feet in height. Co-located CMCS antennas shall be placed on a structure in such a manner as to avoid interference with or impairment of operations of existing antennas or other uses.*

*2. Nothing in these rules and regulations shall obligate the owner of an existing CMCS tower to co-locate additional antennas on such tower or be construed to interfere with or limit the rights of parties to set rent or establish other terms and conditions of the shared use of a CMCS tower or facility.*

**Consistency with Memphis 3.0**

Staff uses the following criteria contained in Memphis 3.0 to determine consistency.

The Memphis 3.0 Plan does not provide recommendations related to cell towers.

**Conclusions**

The request is for a 150-foot Monopole Communications (CMCS) tower within a Residential Single-Family – 6 (R-6) zoning district.

Staff agrees the approval criteria in regard to special use permits as set out in the Unified Development Code Section 9.6.9 are met.

Staff agrees the requirements for special use permits for cell towers as set out in the Unified Development Code Paragraph 2.6.2I(1) are met.

The proposal will not have a substantial or undue adverse effect upon adjacent property, the character of the neighborhood, traffic conditions, parking, and other matters affecting the safety, and general welfare of the community.

## **RECOMMENDATION**

Staff recommends approval with conditions.

### **Conditions**

1. The site shall preserve and maintain as much of the existing mature trees as coverage to this location to meet the landscaping requirements.
2. The equipment compound shall be enclosed by a 6-foot wooden privacy around the lease area to conceal the ground equipment. The compound gates will be wooden as well.
3. The maximum tower height shall be one-hundred fifty (150) feet Monopole Communications (CMCS) tower.
4. The tower and related equipment shall be removed within one-hundred eighty (180) days of ceasing operations.
5. The tower shall be constructed within two (2) years of approval by the Memphis City Council. The Land Use Control Board may grant a time extension through the applicant filing a correspondence item application with public notice sent to all property owners within five hundred feet (500') feet of the property.
6. Any interference with Memphis-Shelby County emergency communications by a station using this tower shall be the responsibility of the station and tower owner to remedy.

## DEPARTMENTAL COMMENTS

The following comments were provided by agencies to which this application was referred:

**City/County Engineer:** DATE: 12/21/2021

**CASE: SUP-21-036** NAME: Cell Tower

1. Standard Subdivision Contract or Right-Of-Way Permit as required in Section 5.5.5 of the Unified Development Code.

### Sewers:

2. City sanitary sewers are available to serve this development.
3. All sewer connections must be designed and installed by the developer. This service is no longer offered by the Public Works Division.

### Roads:

4. The Developer shall be responsible for the repair and/or replacement of all existing curb and gutter along the frontage of this site as necessary.
5. All existing sidewalks and curb openings along the frontage of this site shall be inspected for ADA compliance. The developer shall be responsible for any reconstruction or repair necessary to meet City standards.

### Traffic Control Provisions:

6. The developer shall provide a traffic control plan to the city engineer that shows the phasing for each street frontage during demolition and construction of curb gutter and sidewalk. Upon completion of sidewalk and curb and gutter improvements, a minimum 5-foot-wide pedestrian pathway shall be provided throughout the remainder of the project. In the event that the existing right of way width does not allow for a 5-foot clear pedestrian path, an exception may be considered.
7. Any closure of the right of way shall be time limited to the active demolition and construction of sidewalks and curb and gutter. Continuous unwarranted closure of the right of way shall not be allowed for the duration of the project. The developer shall provide on the traffic control plan, the time needed per phase to complete that portion of the work. Time limits will begin on the day of closure and will be monitored by the Engineering construction inspectors on the job.
8. The developer's engineer shall submit a **Trip Generation Report** that documents the proposed land use, scope and anticipated traffic demand associated with the proposed development. A detailed Traffic Impact Study will be required when the accepted Trip Generation Report indicates that the number for projected trips meets or exceeds the criteria listed in Section 210-Traffic Impact Policy for Land Development of the City of Memphis Division of Engineering Design and Policy Review Manual. Any required Traffic Impact Study will need to be formally approved by the City of Memphis, Traffic Engineering Department.

### Curb Cuts/Access:

9. The City Engineer shall approve the design, number and location of curb cuts.
10. Any existing nonconforming curb cuts shall be modified to meet current City Standards or closed with curb, gutter and sidewalk.

**Drainage:**

11. A grading and drainage plan for the site shall be submitted to the City Engineer for review and approval prior to recording of the final plat.
12. Drainage improvements, including possible on-site detention, shall be provided under a Standard Subdivision contract in accordance with Unified Development Code and the City of Memphis/Shelby County Storm Water Management Manual.
13. Drainage data for assessment of on-site detention requirements shall be submitted to the City Engineer.
14. The following note shall be placed on the final plat of any development requiring on-site storm water detention facilities: The areas denoted by "Reserved for Storm Water Detention" shall not be used as a building site or filled without first obtaining written permission from the City and/or County Engineer. The storm water detention systems located in these areas, except for those parts located in a public drainage easement, shall be owned and maintained by the property owner and/or property owners' association. Such maintenance shall be performed so as to ensure that the system operates in accordance with the approved plan on file in the City and/or County Engineer's Office. Such maintenance shall include, but not be limited to removal of sedimentation, fallen objects, debris and trash, mowing, outlet cleaning, and repair of drainage structures.
15. The developer should be aware of his obligation under 40 CFR 122.26(b)(14) and TCA 69-3-101 et. seq. to submit a Notice of Intent (NOI) to the Tennessee Division of Water Pollution Control to address the discharge of storm water associated with the clearing and grading activity on this site.

<b>City/County Fire Division:</b>	No comments received.
<b>City Real Estate:</b>	No comments received.
<b>City/County Health Department:</b>	No comments received.
<b>Shelby County Schools:</b>	No comments received.
<b>Construction Code Enforcement:</b>	No comments received.
<b>Memphis Light, Gas and Water:</b>	No comments received.
<b>Office of Sustainability and Resilience:</b>	No comments received.
<b>Office of Comprehensive Planning:</b>	No comments received.

**APPLICATION**



*Memphis and Shelby County*  
*Office of Planning and Development*  
CITY HALL 125 NORTH MAIN STREET-SUITE 468 MEMPHIS, TENNESSEE 38103-2084 (901) 576-6601

**APPLICATION FOR SPECIAL USE PERMIT  
APPROVAL/AMENDMENT**

Date: 12-03-2021

Case #: \_\_\_\_\_

PLEASE TYPE OR PRINT

Property Owner of Record: Jerry L. Grantham Phone #: (901) 267-6389

Mailing Address: 3354 Senic HWY City/State: Memphis, TN Zip 38128

Property Owner E-Mail Address: jrgmthm3012@gmail.com

Applicant: TVT II, LLC - Tower Ventures Phone # (901) 794-9494

Mailing Address: 495 Tennessee Street; Ste: 152 City/State: Memphis, TN Zip 38103

Applicant E- Mail Address: lou@towerventures.com

Representative: Lou Katzerman, Zoning Manager Phone #: (901) 244-4017

Mailing Address: 495 Tennessee Street; Ste: 152 City/State: Memphis, TN Zip 38103

Representative E-Mail Address: lou@towerventures.com

Engineer/Surveyor: Hardy Engineering, INC. C/O Tim Hardy Phone # (205) 655-1427

Mailing Address: 209 Linden Street City/State: Trussville, AL Zip 35173

Engineer/Surveyor E-Mail Address: tim@hardy-engineering.com

Street Address Location: 1609 Coming Ave Memphis, TN 38127

Distance to nearest intersecting street: +/- 2075 ft east, to North Watkins

	Parcel 1	Parcel 2	Parcel 3
Area in Acres:	<u>1.52</u>	_____	_____
Existing Zoning:	<u>R-6</u>	_____	_____
Existing Use of Property	<u>Vacant Land</u>	_____	_____
Requested Use of Property	<u>CMCS</u>	_____	_____

**Amendment(s):** Any revision to an approved Special Use Permit that does not meet the provisions for Major or Minor Modifications shall be proposed as an amendment. Time extensions (see Subsection 9.6.14B of the UDC) to and requests to exceed 24-month limitation on discontinuance (see Subsection 9.6.14C) of approved special use permits shall be processed as major modifications, subject to the provisions of Chapter 9.16.

Yes  No

**Unincorporated Areas:** For residential projects in unincorporated Shelby County, please provide the following information:

Number of Residential Units: NA Bedrooms: NA

Expected Appraised Value per Unit: NA or Total Project: NA

**Variations:** If the Office of Planning and Development (OPD) determines your submitted site plan requires Board of Adjustment (BOA) action on a particular standard of the Unified Development Code, this application will not be heard by the Land Use Control Board (LUCB) until an application is submitted to the BOA. Once a BOA application is received by OPD, OPD will proceed to send any public notices, including neighborhood meeting notification, for the next available LUCB meeting. Notices will not be sent out prior to a BOA application being received. All neighborhood notification and public notices shall meet the timing provided in Sections 9.3.2 and 9.3.4 of the UDC. In lieu of a BOA application being filed, this application for a Special Use Permit may be replaced with an application for a Planned Development within 14 days of the filing deadline for this application, unless the site is located within the Medical Overlay District (see Sec. 8.2.2D of the UDC). If neither a Board of Adjustment nor a Planned Development application is received within 90 days of the filing deadline for this application, then this application shall be considered defective and withdrawn from any future consideration by the Land Use Control Board.

I (we) hereby make application for the Special Use Permit described above and on the accompanying materials. I (we) accept responsibility for any errors or omissions which may result in the postponement of the application being reviewed by the Memphis & Shelby County Land Use Control Board at the next available hearing date. I (We), owner(s) of the above described property hereby authorize the filing of this application and the above named persons to act on my behalf.

James L. Brantham      10/21/2021      [Signature]      10/21/2021  
Property Owner of Record      Date      Applicant      Date

**REQUIREMENTS PRIOR TO APPLICATION SUBMISSION**

**PRE-APPLICATION CONFERENCE** - Not more than six (6) months nor less than five (5) working days prior to filing an application, the applicant shall arrange for a mandatory pre-application conference with OPD.

Pre-Application Conference held on: 11/29/21 with Ms. Twana Shelton

**NEIGHBORHOOD MEETING** – At least ten (10) days, but not more than 120 days, prior to a hearing before the Land Use Control Board, the applicant shall provide an opportunity to discuss the proposal with representatives from neighborhoods adjacent to the development site (Section 9.3.2). The following documentation shall be provided to OPD to verify compliance with this requirement: A copy of the letter sent to neighborhood associations and abutting property owners and a copy of the mailing list used to send notice.

Neighborhood Meeting Requirement Met:      Yes       Not yet   
(If yes, documentation must be included with application materials)

**SIGN POSTING** – A sign or signs shall be erected on-site no more than 30 days or less than 10 days prior to the date of the Land Use Control Board hearing. See Sub-Section 9.3.4C of the UDC for further details on sign posting.

**9.6.9 Special Use Permit Approval Criteria**

No special use permit or planned development shall be approved unless the following findings are made concerning the application:

Please address each sub-section below (Provide additional information on a separate sheet of paper if needed).

- The project will not have a substantial or undue adverse effect upon adjacent property, the character of the neighborhood, traffic conditions, parking, utility facilities and other matters affecting the public health, safety, and general welfare (UDC sub-section 9.6.9A).

Proposed Site is located on an 1.53 acre tract. Property is bounded by existing natural tree cover. Site carefully chosen to minimize the impact to the neighborhood. The tower will serve the public health and well being by providing reliable coverage to this area.

- The project will be constructed, arranged and operated so as to be compatible with the immediate vicinity and not interfere with the development and use of adjacent property in accordance with the applicable district regulations (UDC sub-section 9.6.9B).

Proposed site is located on large, heavily wooded lot with mature trees. Tower will serve growing and busy area.

- The project will be served adequately by essential public facilities and services such as streets, parking, drainage, refuse disposal, fire protection and emergency services, water and sewers; or that the applicant will provide adequately for such services (UDC sub-section 9.6.9C).

With over 400,000 daily 911 calls coming from wireless users in America, the proposed site with function as public safety asset.

- The project will not result in the destruction, loss or damage of any feature determined by the governing bodies to be of significant natural, scenic or historic importance (UDC sub-section 9.6.9D).

No. CMCS Towers are heavily regulated in this regard; site will have completed Phase I environmental testing, FAA and FCC compliance and approvals prior to construction.

- The project complies with all additional standards imposed on it by any particular provisions authorizing such use (UDC sub-section 9.6.9E).

Yes, site will kindly comply with all local, state and Federal Cell Tower Requirements and regulations. As noted above, site will comply with UDC Section 2.6.2.1.2.

- The request will not adversely affect any plans to be considered (see UDC Chapter 1.9) or violate the character of existing standards for development of the adjacent properties (UDC sub-section 9.6.9F).

No, does not appear to fall under plans A-AA listed in the UPC Chapter on CMCS Tower regulations.

**LETTER OF INTENT**

**TVT II, LLC - Tower Ventures**

Phone: 901 244-4017  
495 Tennessee Street  
Suite: 152  
Memphis, TN 38103

December 2, 2021

Memphis and Shelby County Office of Planning and Development  
Memphis City Hall  
C/O Mr. Josh Whitehead  
Suite # 468  
125 North Mid-American Mall  
Memphis, TN 38103-2084

RE: Site Name: TN 1033; Winston Drive: **Letter of Intent** for a One Hundred Fifty Foot (150') Monopole Communications ("CMCS") Tower at 1609 Corning Ave, Memphis, TN 38127 (Parcel ID # 070053 00002)

Dear Mr. Whitehead:

TVT II, LLC (Tower Ventures), 495 Tennessee Street, Suite: 152 Memphis, TN 38103 proposes to construct a one hundred fifty Foot (150') CMCS tower at 1609 Corning Ave (Parcel ID #070053 0002) Memphis, TN 38127. The tower will be a Monopole design. It will be built to support cellular communications and wireless data services. Per the UDC, the tower will be designed to support four (4) antenna arrays. The tower will be equipped with a climbing apparatus.

Site equipment will be placed in a Lease area of 50' x 50'. A 6' (six foot) wooden fence will be constructed around the lease area to conceal the ground equipment. The Compound Gates will also be wooden. The site will be concealed from view. Due to the extensive existing mature tree coverage that the parcel at 1609 offers, we are not proposing any additional landscaping. In turn, we plan to preserve as much existing vegetation as possible in lieu of a landscape screen.

There is a need for improved cellular coverage in this area of Memphis. Our client, Dish Network, has provided detailed before and after coverage maps that clearly demonstrate this need. The CMCS equipment planned for the proposed tower cannot be accommodated on any existing structures because there are no appropriate existing structures or pending structures to accommodate the planned equipment, considering, among other factors, the licensees' system requirements. Therefore, the proposed tower is needed so that the licensccs can provide better cellular coverage and can improve its E911 emergency services network. The citizens of Memphis benefit each time a licensee expands its network coverage because each site enhances the licensee's ability to provide emergency response services.

TVT II, LLC - Tower Ventures, appreciates the Memphis and Shelby County Office of Planning and Development's consideration of this application. Please contact me at (901) 244-4017 if you have any questions concerning this application. Many thanks.

Sincerely,



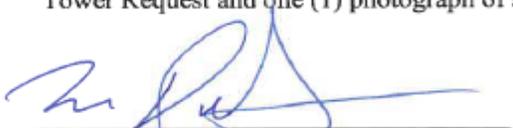
Lou Katzerman  
Sr. Site Acquisition and Zoning Manager  
TVT II, LLC - Tower Ventures  
Office: 901-244-4017  
[lou@towerventures.com](mailto:lou@towerventures.com)

**SIGN AFFIDAVIT**

**Sign Affidavit for S.U.P. Case Number: 21-036**

County of Shelby  
State of Tennessee

I, Louis B. Katzerman, being duly sworn, depose and say that at approximately 09.30 am on the 31st<sup>th</sup> day of December 2021 I posted one (1) Public Notice Sign pertaining to Case No. SUP 21-036 at 1609 Corning Ave Memphis, TN 38127 (Parcel ID #07000053 00002), providing notice of a Public Hearing before the Land Use Control Board (Hearing on January 13<sup>th</sup>, 2022) for consideration of a proposed SUP/CMCS Tower Request and one (1) photograph of said sign.

  
\_\_\_\_\_  
TVT II, LLC (Tower Ventures), Applicant  
Louis Katzerman, Sr. Zoning Manager

12/31/2021  
Date

Subscribed and sworn to before me this 31st day of December 2021

  
\_\_\_\_\_  
Notary Public

My Commission Expires:

10/20/24



**LETTERS RECEIVED**

No letters received at the time of completion of this report.



# Memphis and Shelby County Office of Planning and Development

CITY HALL 125 NORTH MAIN STREET-SUITE 468 MEMPHIS, TENNESSEE 38103-2084 (901) 576-6601

## APPLICATION FOR SPECIAL USE PERMIT APPROVAL/AMENDMENT

Date: 12-03-2021

Case #: \_\_\_\_\_

PLEASE TYPE OR PRINT

Property Owner of Record: Jerry L. Grantham Phone #: (901) 267-6369

Mailing Address: 3354 Senic HWY City/State: Memphis, TN Zip 38128

Property Owner E-Mail Address: jrgnrnthm3012@gmail.com

Applicant: TVT II, LLC - Tower Ventures Phone # (901) 794-9494

Mailing Address: 495 Tennessee Street; Ste: 152 City/State: Memphis, TN Zip 38103

Applicant E- Mail Address: lou@towerventures.com

Representative: Lou Katzerman, Zoning Manager Phone #: (901) 244-4017

Mailing Address: 495 Tennessee Street; Ste: 152 City/State: Memphis, TN Zip 38103

Representative E-Mail Address: lou@towerventures.com

Engineer/Surveyor: Hardy Engineering, INC. C/O Tim Hardy Phone # (205) 655-1427

Mailing Address: 209 Linden Street City/State: Trussville, AL Zip 35173

Engineer/Surveyor E-Mail Address: tim@hardy-engineering.com

Street Address Location: 1609 Corning Ave Memphis, TN 38127

Distance to nearest intersecting street: +/- 2075 ft east, to North Watkins

	Parcel 1	Parcel 2	Parcel 3
Area in Acres:	<u>1.52</u>	_____	_____
Existing Zoning:	<u>R-6</u>	_____	_____
Existing Use of Property	<u>Vacant Land</u>	_____	_____
Requested Use of Property	<u>CMCS</u>	_____	_____

**Amendment(s):** Any revision to an approved Special Use Permit that does not meet the provisions for Major or Minor Modifications shall be proposed as an amendment. Time extensions (see Subsection 9.6.14B of the UDC) to and requests to exceed 24-month limitation on discontinuance (see Subsection 9.6.14C) of approved special use permits shall be processed as major modifications, subject to the provisions of Chapter 9.16.

Yes  No

**Unincorporated Areas:** For residential projects in unincorporated Shelby County, please provide the following information:

Number of Residential Units: NA Bedrooms: NA

Expected Appraised Value per Unit: NA or Total Project: NA

**Variances:** If the Office of Planning and Development (OPD) determines your submitted site plan requires Board of Adjustment (BOA) action on a particular standard of the Unified Development Code, this application will not be heard by the Land Use Control Board (LUCB) until an application is submitted to the BOA. Once a BOA application is received by OPD, OPD will proceed to send any public notices, including neighborhood meeting notification, for the next available LUCB meeting. Notices will not be sent out prior to a BOA application being received. All neighborhood notification and public notices shall meet the timing provided in Sections 9.3.2 and 9.3.4 of the UDC. In lieu of a BOA application being filed, this application for a Special Use Permit may be replaced with an application for a Planned Development within 14 days of the filing deadline for this application, unless the site is located within the Medical Overlay District (see Sec. 8.2.2D of the UDC). If neither a Board of Adjustment nor a Planned Development application is received within 90 days of the filing deadline for this application, then this application shall be considered defective and withdrawn from any future consideration by the Land Use Control Board.

**I (we) hereby make application for the Special Use Permit described above and on the accompanying materials. I (we) accept responsibility for any errors or omissions which may result in the postponement of the application being reviewed by the Memphis & Shelby County Land Use Control Board at the next available hearing date. I (We), owner(s) of the above described property hereby authorize the filing of this application and the above named persons to act on my behalf.**

James L. Grantham      10/21/2021      [Signature]      10/21/2021  
 Property Owner of Record      Date      Applicant      Date

**REQUIREMENTS PRIOR TO APPLICATION SUBMISSION**

**PRE-APPLICATION CONFERENCE** - Not more than six (6) months nor less than five (5) working days prior to filing an application, the applicant shall arrange for a mandatory pre-application conference with OPD.

**Pre-Application Conference held on:** 11/29/21 with Ms. Tanosha Shelton

**NEIGHBORHOOD MEETING** – At least ten (10) days, but not more than 120 days, prior to a hearing before the Land Use Control Board, the applicant shall provide an opportunity to discuss the proposal with representatives from neighborhoods adjacent to the development site (Section 9.3.2). The following documentation shall be provided to OPD to verify compliance with this requirement: A copy of the letter sent to neighborhood associations and abutting property owners and a copy of the mailing list used to send notice.

**Neighborhood Meeting Requirement Met:**      Yes       Not yet   
 (If yes, documentation must be included with application materials)

**SIGN POSTING** – A sign or signs shall be erected on-site no more than 30 days or less than 10 days prior to the date of the Land Use Control Board hearing. See Sub-Section 9.3.4C of the UDC for further details on sign posting.

### 9.6.9 Special Use Permit Approval Criteria

No special use permit or planned development shall be approved unless the following findings are made concerning the application:

Please address each sub-section below (Provide additional information on a separate sheet of paper if needed).

- The project will not have a substantial or undue adverse effect upon adjacent property, the character of the neighborhood, traffic conditions, parking, utility facilities and other matters affecting the public health, safety, and general welfare (UDC sub-section 9.6.9A).

Proposed Site is located on an 1.53 acre tract. Property is bounded by existing natural tree cover. Site carefully chosen to minimize the impact to the neighborhood. The tower will serve the public health and well being by providing reliable coverage to this area.

- The project will be constructed, arranged and operated so as to be compatible with the immediate vicinity and not interfere with the development and use of adjacent property in accordance with the applicable district regulations (UDC sub-section 9.6.9B).

Proposed site is located on large, heavily wooded lot with mature trees. Tower will serve growing and busy area.

- The project will be served adequately by essential public facilities and services such as streets, parking, drainage, refuse disposal, fire protection and emergency services, water and sewers; or that the applicant will provide adequately for such services (UDC sub-section 9.6.9C).

With over 400,000 daily 911 calls coming from wireless users in America, the proposed site with function as public safety asset.

- The project will not result in the destruction, loss or damage of any feature determined by the governing bodies to be of significant natural, scenic or historic importance (UDC sub-section 9.6.9D).

No. CMCS Towers are heavily regulated in this regard; site will have completed Phase I environmental testing, FAA and FCC compliance and approvals prior to construction.

- The project complies with all additional standards imposed on it by any particular provisions authorizing such use (UDC sub-section 9.6.9E).

Yes, site will kindly comply with all local, state and Federal Cell Tower Requirements and regulations. As noted above, site will comply with UDC Section 2.6.2.1.2.

- The request will not adversely affect any plans to be considered (see UDC Chapter 1.9) or violate the character of existing standards for development of the adjacent properties (UDC sub-section 9.6.9F).

No, does not appear to fall under plans A-AA listed in the UPC Chapter on CMCS Tower regulations.

**GUIDE FOR SUBMITTING  
SPECIAL USE PERMIT/AMENDMENT APPLICATION**

A. **THE APPLICATION** - Two (2) collated sets of this application in accordance with the requirements of the Unified Development Code and as outlined below shall be submitted to OPD. The following information is required to be submitted for consideration as a complete application, and except for copies of the Site/Concept Plan, shall be provided on sheets of 8.5"x11" in size. The application with original signatures shall be completed either with legible print or typewritten. Each application set shall be compiled in the following order:

- 1) This application, 8.5"x11" Site/Concept Plan, Plot Plan, Legal Description, Vicinity Map, 2-3 sets of gummed-backed Mailing Labels, 2 sets of paper copied Mailing Labels, Letter of Intent, 20"x24" Site/Concept Plan (folded) and a copy of Deed(s).
- 2) A compact disc with all submittal documents in "PDF" and any proposed conditions in "WORD".

*(For additional information concerning these requirements contact Land Use Control Section at (901) 576-6601.)*

B. **LETTER OF INTENT** - The letter shall include the following:

- a) A brief narrative statement generally describing the nature, location and extent of the development and the market it is intended to serve.
- b) A list of any professional consultants associated with the proposed development.
- c) A written statement generally describing the relationship of the proposed development to the current policies and plans of the City and County. The statement shall include how the proposed development is to be designed, arranged and operated in order to limit impact to neighboring properties.
- d) A description of the applicant's planning objectives and the approaches to be followed in achieving those objectives.
- e) For applications for CMCS (cell) towers, the letter of intent shall also commit the tower owner and his or her successors to allow shared use of the tower **if** capacity exists based on existing and planned use (see UDC Sub-Item 2.6.2I(2)(a)(5)).

C. **REGISTERED LAND SURVEYOR'S SURVEY**

Two (2) copies of a survey (of recent origin showing everything existing on the subject property at the time of filing, and in no instance can it be over one year old) of the subject property, drawn to an engineering scale by a registered land surveyor (licensed in Tennessee), on 8 ½ x 11 inches sheets. The survey must indicate the dimensions and location of all existing structure(s) and improvement(s); property dimensions and amount of land area; dimensions and location of off-street parking facilities and curb cut(s); and the established setbacks of the existing structure(s) on the site and on the adjoining properties. (Please Note: The requirements for a survey may be waived by the Planning Director.)

D. **SITE/CONCEPT PLAN**

Two (2) copies of the site/concept plan shall be submitted and depict the following: (a) property boundary lines and dimensions, existing utilities and easements, roadways, rail lines and public rights-of-way, crossing adjacent to the subject property; (b) the proposed height, dimensions and arrangements of buildings on the property; (c) the type and location of proposed landscaping; (d) the location of points of ingress/egress (driveways), parking lots and loading areas on the site; and (e) any proposed substantial re-grading of the site and any significant topographical or physical features of the site including water courses or ponds. Site/Concept plan shall be drawn at a scale of not less 1"=100' for developments of less than 150 acres, 1"=200' for developments between 150 and 1,000 acres, and 1"=300' feet for developments in excess of 1,000 acres.

- E. **PLOT PLAN AND LEGAL DESCRIPTION**  
1) Two (2) copies of the plot plan, drawn to scale (1"=50', =100' or =200'), showing each parcel to be considered. Two or more parcels may be described on one sheet. If property is encumbered by easements, show type and location on plot plan.  
2) Two (2) copies of legal description shall be attached to plot plan if not shown or described on the plan.
- F. **VICINITY MAP**  
Two (2) copies showing the subject property (boldly outlined) and all parcels within a 500' radius. If the 500' radius includes less than 25 property owners, the radius shall be extended at 100' intervals to reach a minimum of 25 property owners provided, however, that the maximum total radius is 1,500'. Show for each parcel its dimensions, owner's name (on the vicinity map unless prior approval is given to do otherwise) and the public streets, alleys or private drives that it abuts. In situations where the parcels on the map are so small that the property owner's names are unable to fit and numbered legend is used, every effort should be made to place the legend on the map itself and not a separate sheet.
- G. **LIST OF NAMES AND ADDRESSES**  
1) Two (2) complete lists of names and mailing addresses, including zip codes, of all owners shown on the vicinity map, typewritten on 1"x 2<sup>5/8</sup>" self-adhesive mailing labels and 2 paper sets. Three (3) sets of gummed back mailing labels and paper copies are needed for subject properties located in Shelby County but within five (5) miles of the Memphis City limits.  
2) Two (2) self-adhesive mailing labels (1"x 2<sup>5/8</sup>") each for the owner of record, applicant, representative and/or engineer/surveyor.
- H. **FILING FEES** *(All Fees Are Subject To Change without Prior Notice)*  
1) Special Use Permit: 5.0 Acres or less=\$500. Each additional acre or fraction thereof =\$50, Maximum =\$5,000. Amendment(s): = \$500.00; Daycare only: 8-12 children=\$100. 13+ children= \$250.  
Make check payable to "M/SC Office of Planning and Development"

**\*ALL APPLICATIONS MUST BE SUBMITTED IN PERSON  
AND THE SUBMITTER MUST RECEIVE A RECEIPT OF  
ACCEPTANCE FROM STAFF**

## **TVT II, LLC - Tower Ventures**

Phone: 901 244-4017  
495 Tennessee Street  
Suite: 152  
Memphis, TN 38103

December 2, 2021

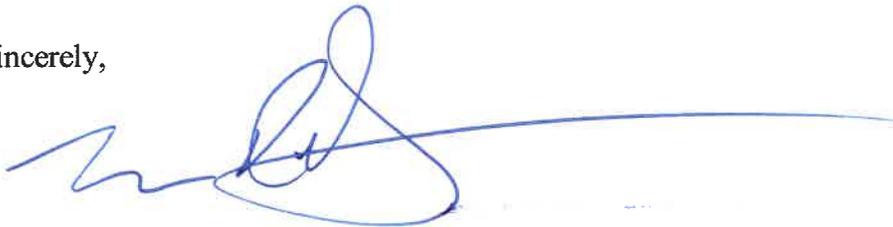
Memphis and Shelby County Office of Planning and Development  
Memphis City Hall  
C/O Mr. Josh Whitehead  
Suite # 468  
125 North Mid-American Mall  
Memphis, TN 38103-2084

RE: Site Name: TN 1033; Winston Drive **Letter of Governmental Compliance** for a One Hundred Fifty Foot (150') Monopole Communications ("CMCS") Tower at 1609 Corning Ave, Memphis, TN 38127 (Parcel ID # 070053 00002)

Dear Mr. Whitehead:

The proposed CMCS Tower at 1609 Corning Ave (Parcel ID # 070053 00002), Memphis, TN, 38127, will kindly comply with all regulations administered by the Federal Aviation Administration, the Federal Communications Commission, and all other applicable Federal, State and Local governmental bodies.

Sincerely,



Lou Katzerman  
Sr. Site Acquisition and Zoning Manager  
TVT II, LLC - Tower Ventures  
Office: 901-244-4017  
[lou@towerventures.com](mailto:lou@towerventures.com)

**MILESTONE LAND SURVEYING, INC.**

2880 Cobb Road  
Lakeland, TN 38002  
Phone: (901) 867-8671  
Fax: (901) 867-9889

October 28, 2021

TVT II, LLC  
495 Tennessee Street  
Memphis, Tennessee  
38103

Re: Center of a Proposed Tower on the Jerry L. Grantham property located at 1609 Corning Avenue, Memphis, Shelby County, Tennessee.

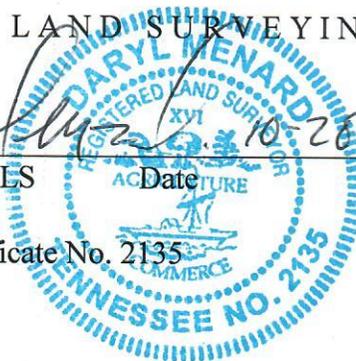
This letter is to certify that the following latitude, longitude and elevation (Latitude = 35 degrees 13 minutes 27.21 seconds North, Longitude = 90 degrees 00 minutes 36.23 seconds West, Elevation = 281.51') are accurate within the tolerances +/-15 feet horizontal and +/- 3 feet vertical as required by a "1-A" Survey. This information is based on NAD 83.

MILESTONE LAND SURVEYING, INC.

By:

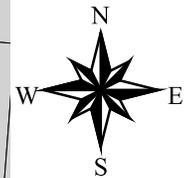
  
Daryl Menard, RLS  
President

Tennessee Certificate No. 2135



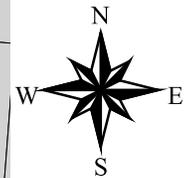
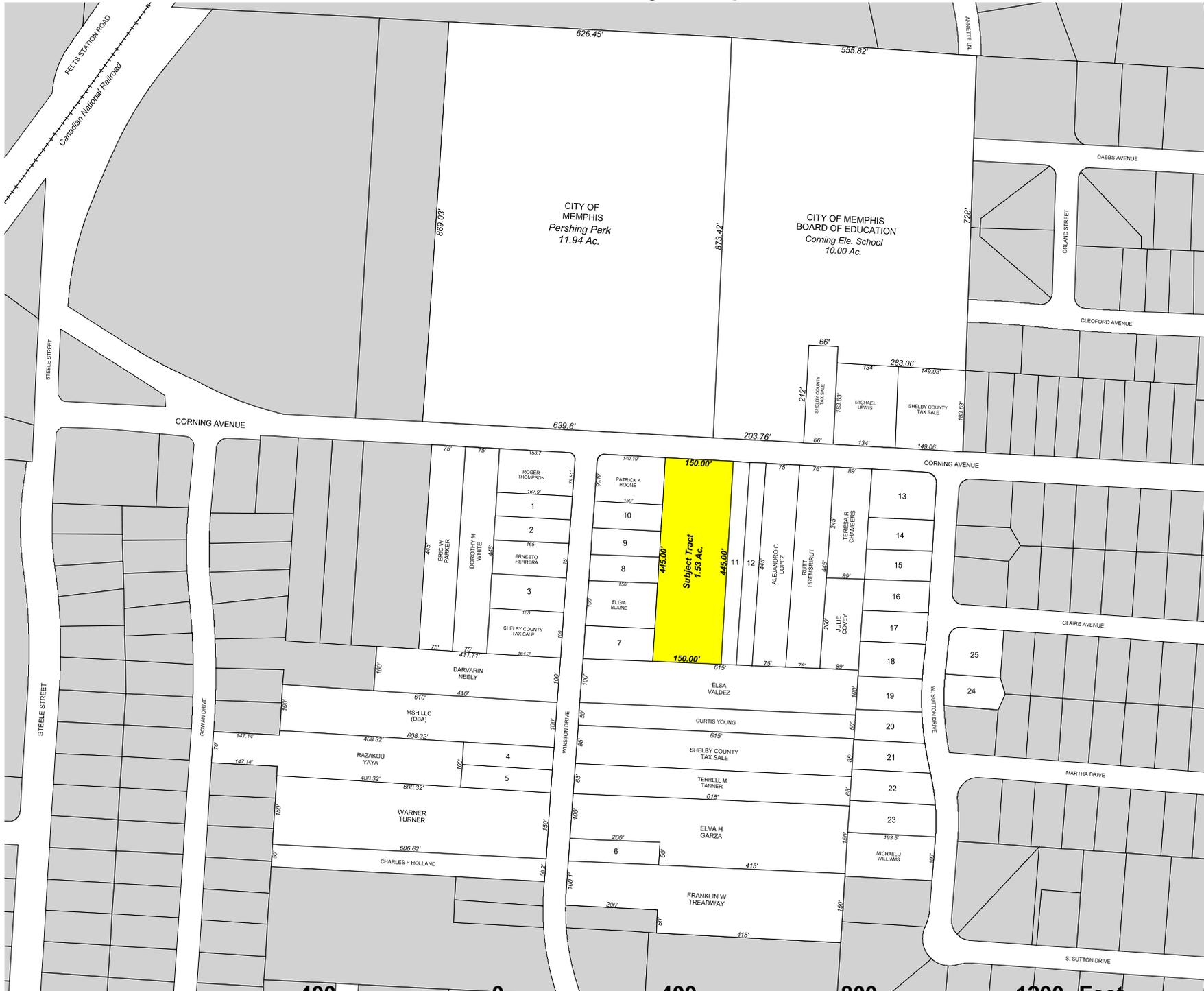
10-28-2021

# Vicinity Map



Date: 09/06/21  
Prepared By:  
Property Research Data  
PRD Job #21-076

# Vicinity Map



Date: 09/06/21  
 Prepared By:  
 Property Research Data  
 PRD Job #21-076



## MEMPHIS AND SHELBY COUNTY

### Record Summary for Special Use Permit

#### Record Detail Information

Record Type: Special Use Permit

Record Status: Assignment

Opened Date: December 2, 2021

Record Number: SUP 2021-036

Expiration Date:

Record Name: 1609 Corning Ave

Description of Work: 150ft CMCS Tower

Parent Record Number:

---

Address: 1609 CORNING AVE, MEMPHIS 38127

---

#### Owner Information

Primary	Owner Name	Owner Address	Owner Phone
Yes	GRANTHAM JERRY L	3354 SCENIC HIGHWAY TER, MEMPHIS, TN 38128	(901) 267-6369
	GRANTHAM JERRY L	3354 SCENIC HIGHWAY TER, MEMPHIS, TN 38128	

---

#### Parcel Information

Parcel No:  
070053 00002

---

#### Contact Information

Name	Organization Name	Contact Type	Phone
Lou B Katzerman	TVT II, LLC - Tower Ventures	Applicant	(901) 239-3892

Suffix:

Address

---

**Fee Information**

Invoice #	Fee Item	Quantity	Fees	Status	Balance	Date Assessed	Unit	Fee Code
1344536	Special Use Permit Fee - 5 acres or less (Base Fee)	1	500.00	INVOICED	0.00	12/02/2021		PLNGSPUSE 01
1344536	Credit Card Use Fee (.026 x fee)	1	13.00	INVOICED	0.00	12/02/2021		PLNGSPUSE 10

Total Fee Invoiced: \$513.00

Total Balance: \$0.00

**Payment Information**

Payment Amount	Method of Payment
\$513.00	Credit Card

**Data Fields****PREAPPLICATION MEETING**

Name of DPD Planner	Teresa Shelton
Date of Meeting	11/29/2021

**GENERAL PROJECT INFORMATION**

Application Type	New Special Use Permit
Previous Case Number	-
Is this application in response to a citation from Construction Code Enforcement or Zoning Letter?	No
If yes, please provide additional information	-

**APPROVAL CRITERIA**

The project will not have a substantial or undue adverse effect upon adjacent property, the character of the neighborhood, traffic conditions, parking, utility facilities and other matters affecting the public health, safety, and general welfare (UDC Sub-Section 9.6.9A).

UDC Sub-Section 9.6.9B

Proposed Site is located on an 1.53 acre tract. Property is bounded by existing natural tree cover. Site carefully chosen to minimize the impact to the neighborhood. The tower will serve the public health and well being by providing reliable coverage to this area.

Proposed site is located on large, heavily wooded lot with mature trees. Tower will serve growing and busy area.

UDC Sub-Section 9.6.9C

With over 400,000 daily 911 calls coming from wireless users in America, the proposed site will function as public safety asset.

UDC Sub-Section 9.6.9D

No. CMCS Towers are heavily regulated in this regard; site will have completed Phase I environmental testing, FAA and FCC compliance and approvals prior to construction.

UDC Sub-Section 9.6.9E

Yes, site will kindly comply with all local, state and Federal Cell Tower Requirements and regulations. As noted above, site will comply with UDC Section 2.6.2.1.2.

UDC Sub-Section 9.6.9F

No, does not appear to fall under plans A-AA listed in the UPC Chapter on CMCS Tower regulations.

---

**GIS INFORMATION**

Central Business Improvement District	No
Case Layer	-
Class	R
Downtown Fire District	No
Historic District	-
Land Use	VACANT
Municipality	MEMPHIS
Overlay/Special Purpose District	-
Zoning	R-6
State Route	-
Lot	0 3
Subdivision	VICTORY FARMS
Planned Development District	-

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Shelby County Tennessee  
*Shelandra Y. Ford*  
 Shelby County Register

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As evidenced by the instrument number shown below, this document has been recorded as a permanent record in the archives of the Office of the Shelby County Register.

19046774

05/14/2019 - 08:52 AM

<u>3 PGS</u>	
<u>TAMMY 1869196-19046774</u>	
<u>VALUE</u>	<u>5000.00</u>
<u>MORTGAGE TAX</u>	<u>0.00</u>
<u>TRANSFER TAX</u>	<u>18.50</u>
<u>RECORDING FEE</u>	<u>15.00</u>
<u>DP FEE</u>	<u>2.00</u>
<u>REGISTER'S FEE</u>	<u>3.00</u>
<u>WALK THRU FEE</u>	<u>0.00</u>
<u>TOTAL AMOUNT</u>	<u>38.50</u>

**SHELANDRA Y FORD**

REGISTER OF DEEDS SHELBY COUNTY TENNESSEE

# CloseTrak

## Closing & Title Services

### WARRANTY DEED

THIS INDENTURE, made and entered into this 9<sup>th</sup> day of May, 2019 by and between

Allied Ventures LLC, a Tennessee Limited Liability Company, hereinafter called Grantor, and

Jerry L. Grantham, unmarried, hereinafter called Grantee.

WITNESSETH: That for and in consideration of ten dollars (\$10.00), cash in hand paid, and other good and valuable considerations, the receipt and sufficiency of which are hereby acknowledged, the Grantor has bargained and sold and does hereby bargain, sell, convey and confirm unto the Grantee the following described real estate, situated and being in the County of Shelby, State of Tennessee, to wit:

**See attached Exhibit "A" for legal description**

This conveyance is made subject to all restrictions, easements, zoning and planning ordinances, and other municipal regulations including those of record in **Plat Book 10, Page 48 and Easements of record in Book 2390, Page 25 and Book 1875, Page 183**; all in said Register's Office.

TO HAVE AND TO HOLD the aforesaid real estate, together with all the appurtenances and hereditaments thereunto belonging or in any wise appertaining unto the Grantee, Grantee's heirs, and assigns, in fee simple forever.

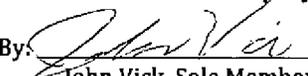
The Grantor does hereby covenant with the Grantee that Grantor is lawfully seized in fee of the aforescribed real estate; that the Grantor has a good right to sell and convey the same; that the same is unencumbered except any taxes not yet due but constituting a lien which are assumed by Grantee, and

And that the title and quiet possession Grantor warrants and will forever defend against the lawful claims of all persons.

The words "Grantor" and "Grantee" shall include the plural where appropriate and pronouns shall be construed according to their proper gender and number according to the context hereof.

WITNESS the signature of the Grantor the day and year first above written.

Allied Ventures LLC, a Tennessee Limited Liability  
Company

By:   
John Vick, Sole Member

STATE OF TENNESSEE  
COUNTY OF SHELBY

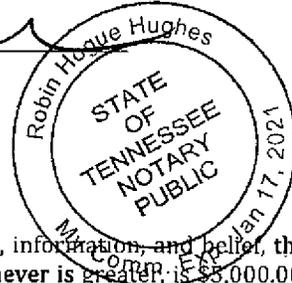
Before me, a Notary Public in and for said State and County, duly commissioned and qualified, personally appeared John Vick, Member of Allied Ventures LLC to me known (or proved to me on the basis of satisfactory evidence) to be the person (or persons) described in and who executed the foregoing instrument, and acknowledged that he, she or they executed the same as his free act and deed in the capacity as Member of Allied Ventures, LLC.

WITNESS my hand and notarial seal at office this 9th day of May 2019.

My Commission Expires:

1/17/21

Notary Public



STATE OF TENNESSEE  
COUNTY OF SHELBY

I, or we, hereby swear or affirm that to the best of affiant's knowledge, information, and belief, the actual consideration for this transfer or value of the property transferred whichever is greater, is \$5,000.00, which amount is equal to or greater than the amount which the property transferred would command at a fair and voluntary sale.

Jerry L. Grantham  
Affiant

Subscribed and sworn to before me this the 9th day of May 2019.

My Commission Expires:

1/17/21

Notary Public

Owner's Mailing Address:

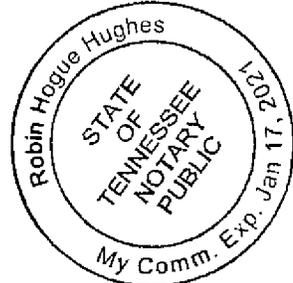
Jerry L. Grantham  
3354 Scenic Terrace  
Memphis, TN 38128

Property Address:

1609 Corning Avenue  
Memphis, TN 38127

Person responsible for the payment of taxes:

Jerry L. Grantham  
3354 Scenic Terrace  
Memphis, TN 38128



File Number: RH-19-9995

Prepared By and Return To:

CloseTrak, LLC  
8099 Stage Hills Boulevard, #101  
Bartlett, TN 38133

**EXHIBIT "A"**

Lot 3, of Victory Farms Subdivision, as shown by plat recorded in Plat Book 10, Page 48, in the Register's Office of Shelby County, Tennessee, and being more particularly described as: Beginning at a point in the south line of Corning Avenue, said point being a common corner of Lots 3 and 4; thence eastwardly along said south line a distance of 150.0 feet to the northwest corner of Lot 2; thence southwardly along the line dividing Lots 2 and 3 a distance of 445.0 feet to a point in Lot 16; thence westwardly along the line dividing Lots 16 and 3 a distance of 150.0 feet to the southeast corner of Lot 4; thence nonhwardly along the line dividing Lots 3 and 4 a distance of 445.0 feet to the point of beginning.

Being the same property conveyed to Grantor(s) herein by Quit Claim Deed of record at Instrument Number 18081313 in said Register's Office.

Tax Parcel Number: 07-0053-0-0002

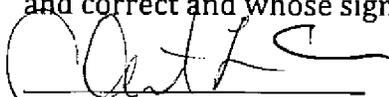
\*\*\*\*\*

I, Marc A. Diaz, do here by make oath that I am a licensed attorney and/or the custodian of the electronic version of the attached document tendered for registration herewith and that this is a true and correct copy of the original document executed and authenticated according to law.

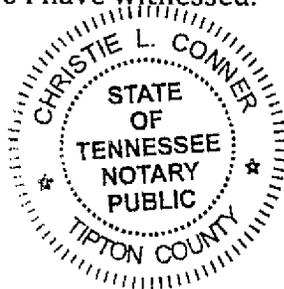
  
\_\_\_\_\_  
Marc A. Diaz

STATE OF TENNESSEE  
COUNTY OF ~~SHELBY~~ *Tipton*

Personally appeared before me, the undersigned a notary public for the county and state, Marc A. Diaz, who acknowledged that this certification of an electronic document is true and correct and whose signature I have witnessed.

  
\_\_\_\_\_  
Notary Public

My commission expires:  
*12/16/20*





**Dish RF Design**

**NAMEM00421A-**

**Coverage**

**September 13th, 2021**

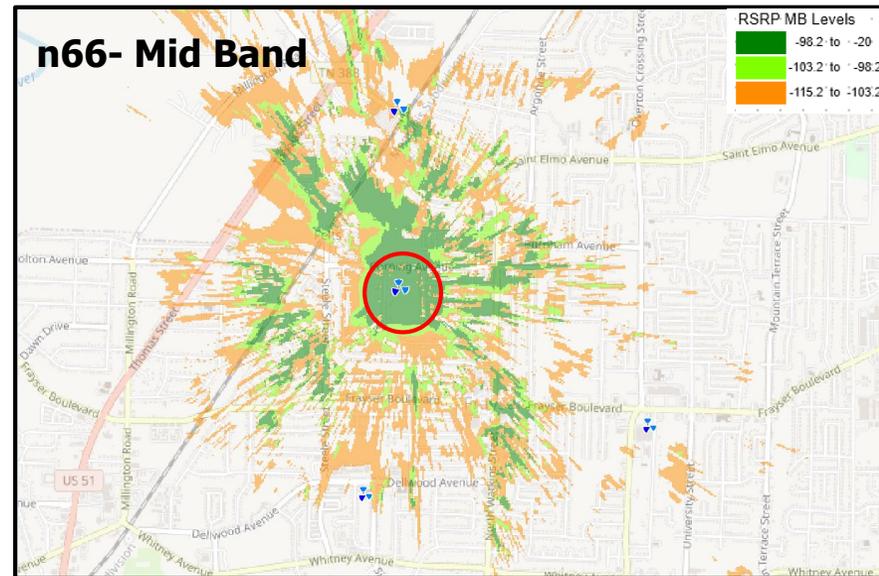
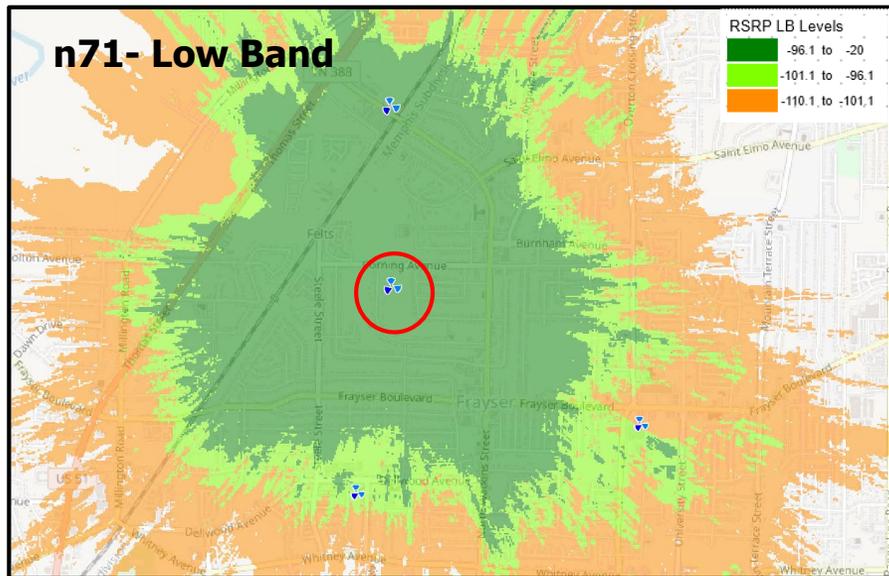


# Summary:

- Predictions were run on site NAMEM00421A located at Lat: 35.224150 and long: -90.00930
- Site covers a total of 21,105 Pops on Low Band and 4,574 Pops on Mid band

*Pops Count- Best Server Site Level:*

Best Server for Site MEM00421A	Low Band (n71)	Mid Band (n66)
	Traffic Counts (Subscribers)	Traffic Counts (Subscribers)
NAMEM00421A	21,104.81	4,573.78



Description of a Proposed 50.0' x 50.0' Ground Lease Area on part of the Jerry L. Grantham property recorded in Instrument No. 19046774 located in Memphis, Shelby County, Tennessee:

Commencing at found chisel mark at the intersection of the south line of Corning Ave (60' R.O.W.) and the west line of the David Lee Dorsett property recorded in Instrument No. CC-2268; thence south 04 degrees 15 minutes 22 seconds west with the west line of said property recorded in Instrument No. CC-2268, 340.44 feet; thence north 85 degrees 44 minutes 38 seconds west across the Jerry L. Grantham property recorded in Instrument No. 19046774, 45.96 feet to a set 1/2" rebar with plastic cap and the Point of Beginning; thence continuing across said property recorded in Instrument No. 19046774 the following calls: south 04 degrees 15 minutes 22 seconds west, 50.00 feet to a set 1/2" rebar with plastic cap; north 85 degrees 44 minutes 38 seconds west, 50.00 feet to a set 1/2" rebar with plastic cap; north 04 degrees 15 minutes 22 seconds east, 50.00 feet; south 85 degrees 44 minutes 38 seconds east, 50.00 feet to the point of beginning and containing 2,500 square feet of land.

Description of a Proposed 30.0' Wide Ingress/Egress and Utility Easement across part of the Jerry L. Grantham property recorded in Instrument No. 19046774 located in Memphis, Shelby County, Tennessee:

Commencing at found chisel mark at the intersection of the south line of Corning Ave (60' R.O.W.) and the west line of the David Lee Dorsett property recorded in Instrument No. CC-2268; thence north 86 degrees 49 minutes 46 seconds west with the south line of said Corning Ave, 18.91 feet to the Point of Beginning; thence southwardly across the Jerry L. Grantham property recorded in Instrument No. 19046774 the following calls: south 01 degrees 31 minutes 37 seconds east, 158.81 feet to a point of curvature; along a curve to the right having a radius of 90.00 feet, a delta angle of 20 degrees 53 minutes 58 seconds, a chord bearing of south 08 degrees 55 minutes 22 seconds west, a chord distance of 32.65 feet and an arc distance of 32.83 feet to a point of tangency; south 19 degrees 22 minutes 21 seconds west, 154.91 feet to a set 1/2" rebar with plastic cap located at the northeast corner of the above described Proposed 50.0' x 50.0' Ground Lease Area; thence north 85 degrees 44 minutes 38 seconds west with north line of said above described Proposed 50.0' x 50.0' Ground Lease Area, 31.08 feet; thence northwardly across said property recorded in Instrument No.

19046774 the following calls: north 19 degrees 22 minutes 21 seconds east, 163.01 feet to a point of curvature; along a curve to the left having a radius of 60.00 feet, a delta angle of 20 degrees 53 minutes 58 seconds, a chord distance of 21.76 feet and an arc distance of 21.89 feet to a point of tangency; north 01 degrees 31 minutes 37 seconds west, 161.27 feet to a point in the south line of said Corning Ave; thence south 86 degrees 49 minutes 46 seconds east with the south line of said Corning Ave, 30.10 feet to the point of beginning and containing 10,391 square feet or 0.239 acres of land.

Description of a Proposed 15.0' Wide Utility Easement across part of the Jerry L. Grantham property recorded in Instrument No. 19046774 located in Memphis, Shelby County, Tennessee:

Beginning at found chisel mark at the intersection of the south line of Corning Ave (60' R.O.W.) and the west line of the David Lee Dorsett property recorded in Instrument No. CC-2268; thence south 17 degrees 34 minutes 00 seconds west across the Jerry L. Grantham property recorded in Instrument No. 19046774, 349.84 feet to a point in the north line of the above described Proposed 50.0' x 50.0' Ground Lease Area; thence north 85 degrees 44 minutes 38 seconds west with the north line of said the above described Proposed 50.0' x 50.0' Ground Lease Area, 15.41 feet to a set 1/2" rebar with plastic cap in the northwest corner the said above described Proposed 50.0' x 50.0' Ground Lease Area; thence north 17 degrees 34 minutes 00 seconds east across said property recorded in Instrument No. 19046774, 349.54 feet to a point in the south line of said Corning Ave; thence south 86 degrees 49 minutes 46 seconds east with the south line of said Corning Ave, 15.49 feet to the point of beginning and containing 5,245 square feet or 0.120 acres of land.

## **TVT II, LLC - Tower Ventures**

Phone: 901 244-4017  
495 Tennessee Street  
Suite: 152  
Memphis, TN 38103

December 2, 2021

Memphis and Shelby County Office of Planning and Development  
Memphis City Hall  
C/O Mr. Josh Whitehead  
Suite # 468  
125 North Mid-American Mall  
Memphis, TN 38103-2084

RE: Site Name: TN 1033; Winston Drive: **Letter of Intent** for a One Hundred Fifty Foot (150') Monopole Communications ("CMCS") Tower at 1609 Corning Ave, Memphis, TN 38127 (Parcel ID # 070053 00002)

Dear Mr. Whitehead:

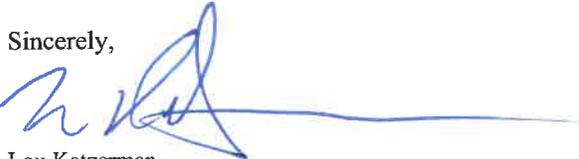
TVT II, LLC (Tower Ventures), 495 Tennessee Street, Suite: 152 Memphis, TN 38103 proposes to construct a one hundred fifty Foot (150') CMCS tower at 1609 Corning Ave (Parcel ID #070053 0002) Memphis, TN 38127. The tower will be a Monopole design. It will be built to support cellular communications and wireless data services. Per the UDC, the tower will be designed to support four (4) antenna arrays. The tower will be equipped with a climbing apparatus.

Site equipment will be placed in a Lease area of 50' x 50'. A 6' (six foot) wooden fence will be constructed around the lease area to conceal the ground equipment. The Compound Gates will also be wooden. The site will be concealed from view. Due to the extensive existing mature tree coverage that the parcel at 1609 offers, we are not proposing any additional landscaping. In turn, we plan to preserve as much existing vegetation as possible in lieu of a landscape screen.

There is a need for improved cellular coverage in this area of Memphis. Our client, Dish Network, has provided detailed before and after coverage maps that clearly demonstrate this need. The CMCS equipment planned for the proposed tower cannot be accommodated on any existing structures because there are no appropriate existing structures or pending structures to accommodate the planned equipment, considering, among other factors, the licensees' system requirements. Therefore, the proposed tower is needed so that the licensees can provide better cellular coverage and can improve its E911 emergency services network. The citizens of Memphis benefit each time a licensee expands its network coverage because each site enhances the licensee's ability to provide emergency response services.

TVT II, LLC - Tower Ventures, appreciates the Memphis and Shelby County Office of Planning and Development's consideration of this application. Please contact me at (901) 244-4017 if you have any questions concerning this application. Many thanks.

Sincerely,



Lou Katzerman  
Sr. Site Acquisition and Zoning Manager  
TVT II, LLC - Tower Ventures  
Office: 901-244-4017  
[lou@towerventures.com](mailto:lou@towerventures.com)

TVTII, LLC  
495 Tennessee Street, Ste. 152  
Memphis, TN 38103

TVTII, LLC  
495 Tennessee Street, Ste. 152  
Memphis, TN 38103

TVTII, LLC  
495 Tennessee Street, Ste. 152  
Memphis, TN 38103

TVTII, LLC  
495 Tennessee Street, Ste. 152  
Memphis, TN 38103

TVTII, LLC  
495 Tennessee Street, Ste. 152  
Memphis, TN 38103

Grantham Jerry L.  
3354 Scenic Highway  
Memphis, TN 38128-5333

Grantham Jerry L.  
3354 Scenic Highway  
Memphis, TN 38128-5333

Grantham Jerry L.  
3354 Scenic Highway  
Memphis, TN 38128-5333

Grantham Jerry L.  
3354 Scenic Highway  
Memphis, TN 38128-5333

Grantham Jerry L.  
3354 Scenic Highway  
Memphis, TN 38128-5333

Arlington Road LLC  
6222 Chester Street  
Arlington, TN 38002-9314

Blaine Elgia And Leondra Blaine  
3100 Wade Street  
Memphis, TN 38128-4934

Bolton Debra E  
3579 W. Sutton Drive  
Memphis, TN 38127-5517

Boone Patrick K  
5390 Blue Ridge Parkway  
Bartlett, TN 38134-6239

Boshwit Brothers Mortgage Corporation  
2595 Broad Avenue  
Memphis, TN 38112-2615

Boyd Regina D  
3635 W. Sutton Drive  
Memphis, TN 38127-5517

Chambers Teresa R  
1643 Corning Avenue  
Memphis, TN 38127-5428

City Of Memphis  
125 N. Main Street, Room 568  
Memphis, TN 38103-2026

City Of Memphis Board Of Education  
2597 Avery Avenue  
Memphis, TN 38112-4818

Clear The Way Supportive Housing Corp.  
5018 Expressway Drive, Ste. 204  
Ronkonkoma, NY 11779

Covey Julie  
1651 Corning Avenue  
Memphis, TN 38127-5428

Dorsett David L  
1623 Corning Avenue  
Memphis, TN 38127-5428

Finch Leonard F  
4613 Big Horn Drive  
Nesbit, MS 38651

Garza Elva H  
3572 Winston Drive  
Memphis, TN 38127-5426

Goliday Sherry B  
3601 W. Sutton Drive  
Memphis, TN 38127-5517

Heard Alex F & Tina M  
3573 W. Sutton Drive  
Memphis, TN 38127

Herrera Ernesto  
4429 Tena Drive  
Memphis, TN 38128-4616

Holland Charles F  
3518 N. Watkins Street  
Memphis, TN 38127-5562

Hudson Sherry D  
3619 Winston Drive  
Memphis, TN 38127-5449

Jones Kimberly D  
3621 W. Sutton Drive  
Memphis, TN 38127-5517

Lewis Michael  
676 Looney  
Memphis, TN 38107

Lopez Alejandro C And Ziomara Santiago  
232 S. Highland Street, Apt. 107  
Memphis, TN 38111-4529

Meshulam Ofir  
3645 W. Sutton Drive  
Memphis, TN 38127-5517

Monreal Raymundo H  
716 Willowbrook Drive  
Mesquite, TX 75149

MSH LLC (DBA)  
P O Box 40024  
Memphis, TN 38174-0024

Neely Darvarin & Camesha  
7197 Chena Bay Lane  
Cordova, TN 38018-7942

Parker Eric W  
1561 Corning Avenue  
Memphis, TN 38127-5406

Peterson Curtis R  
3637 Winston Drive  
Memphis, TN 38127-5449

Premsrirutt  
3993 Howard Hughes Parkway, Ste. 140  
Las Vegas, NV 89169-0961

Romero Rony Armando Family Trust  
6601 Notre Dame Drive  
Buena Park, CA 90620-4643

Sanford Gerald R  
3595 W. Sutton Drive  
Memphis, TN 38127-5517

Shelby County Tax Sale  
P O Box 2751  
Memphis, TN 38101-2751

Shelly Deborah  
5769 Spring Lake Road  
Memphis, TN 38135-1025

Tanner Terrell M  
2941 Piedmont Manor Drive  
Orange Park, FL 32065-4205

Thompson Roger & Hazel M  
3643 Winston Drive  
Memphis, TN 38127-5449

Treadway Franklin W & Bettie L  
3558 Winston Drive  
Memphis, TN 38127-5426

Turner Warner & Nettie  
3572 Gowan Drive  
Memphis, TN 38127

Valdez Elsa  
3602 Winston Drive  
Memphis, TN 38108-5450

Walters Caryllyn  
150 Clover Ridge Drive  
Piperton, TN 38017-5412

Warren Thomas E  
3633 Winston Drive  
Memphis, TN 38127-5449

White Dorothy M  
1561 Corning Avenue  
Memphis, TN 38127

Williams Michael J And Christopher S  
1191 Snowden Farm Cove  
Collierville, TN 38017-6903

Wilson Cleatis  
663 Creekstone Circle  
Memphis, TN 38127

Wright Jacquelyn D  
3607 W. Sutton Drive  
Memphis, TN 38127-5517

Yaya Razakou  
2992 Holland Avenue  
Bronx, NY 10467-8308

Young Curtis  
9520 Sandage Avenue  
Elk Grove, CA 95624-9524



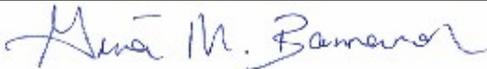
# MEMPHIS LIGHT, GAS, AND WATER ADDRESS ASSIGNMENT CERTIFICATE

Attn: Address Assignment, P.O. Box 430, Memphis, TN 38101. Phone: (901) 729-8620 Fax: (901) 729-8605

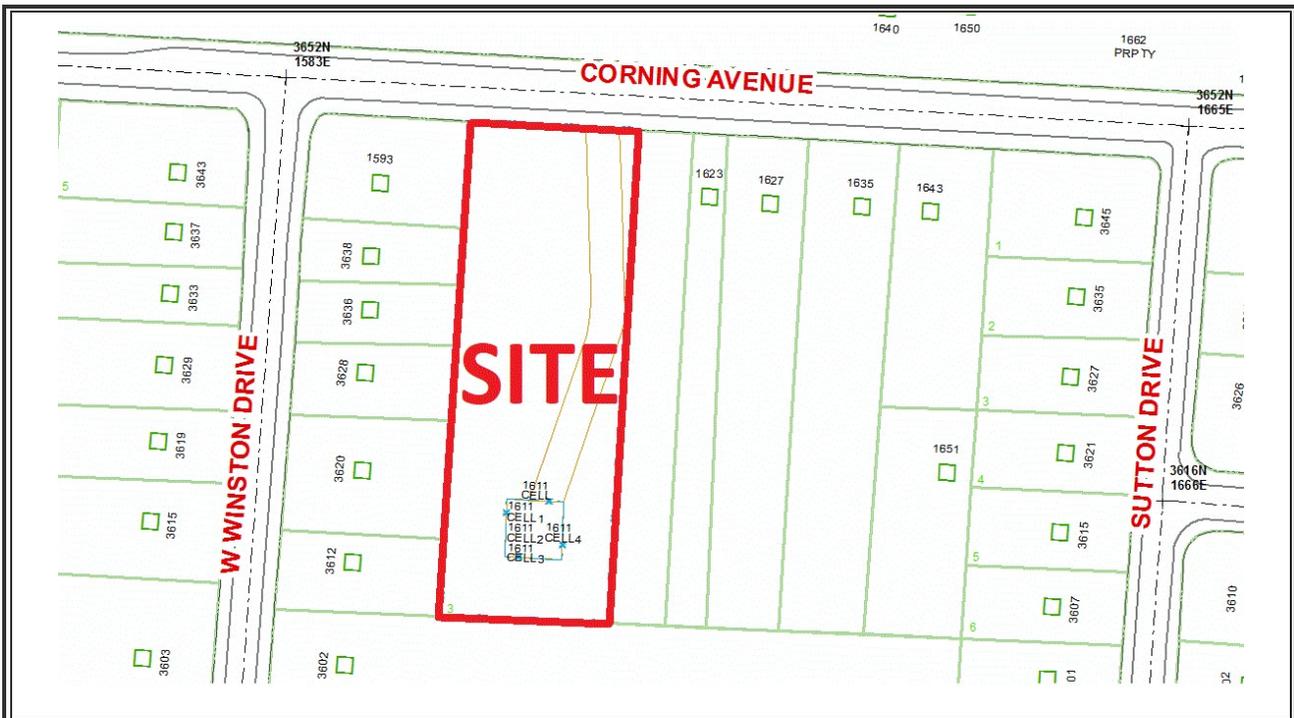
<b>FULL ADDRESS:</b> 1611 CORNING AV - CELL						<b>Date Assigned:</b> 11-20-2021
<b>Street #:</b> 1611	<b>Pre Dir:</b>	<b>Str Name:</b> CORNING	<b>Suffix:</b> AV	<b>Post Dir:</b>		
<b>Unit Type:</b>	<b>Unit #:</b>	<b>Dwell Type:</b> CELL	<b>City:</b> MEMPHIS	<b>ZIP:</b> 38127	<b>Town:(location)</b> MEMPHIS	

<b>Development Name:</b>	VICTORY FARMS	<b>Phase:</b> N/A	<b>Lot #:</b> 3
<b>Property Description:</b>	1.532+/- ACRES	<b>Parcel ID:</b>	070053 00002

<b>Requested By:</b>	Craig Royal	<b>Phone:</b>	901-277-4083
<b>Contact Email:</b>	royal@towerventures.com		
<b>Company:</b>	TVT II, LLC	<b>Fax:</b>	N/A

<b>Current Owner:</b>	TVT II, LLC		
<b>Owner Email:</b>	Craig Royal	<b>Owner Cell:</b>	901-277-4083
<b>Owner Phone:</b>	901-277-4083	<b>Fax:</b>	N/A
<b>Present Address:</b>	495 Tennessee Street, Suite 152		<b>City:</b> Memphis
<b>State:</b>	TN	<b>Zip Code:</b>	38103
<b>Address Assignment Representative:</b>	GINA BANNERMAN 		

**Remarks:** ADDRESS FOR CELL TOWER LOCATED IN MEMPHIS TN 38127



**NOTE:** Use the "Full Address" shown at the top of this form when submitting requests for MLGW utility services or local building/construction code permits.

Melvin Burgess  
Assessor Of Property  
Shelby County Government

Property Location and Owner Information

Parcel ID	070053 00002
Property Address	CORNING AVE
Municipal Jurisdiction	MEMPHIS
Neighborhood Number	00506B01
Tax Map Page	92B
Land Square Footage	66734
Acres	1.532
Lot Dimensions	150 X 445
Subdivision Name	VICTORY FARMS
Subdivision Lot Number	0 3
Plat Book and Page	
Number of Improvements	0
Owner Name	GRANTHAM JERRY L
In Care Of Owner Address	3354 SCENIC HIGHWAY
Owner City/State/Zip	MEMPHIS TN 38128

## Appraisal and Assessment Information

Class	RESIDENTIAL
Land Appraisal	\$11,200
Building Appraisal	\$0
Total Appraisal	\$11,200
Total Assessment	\$2,800
Greenbelt Land Appraisal	\$0
Homesite Land Appraisal	\$0
Homesite Building Appraisal	\$0
Greenbelt Appraisal	\$0
Greenbelt Assessment	\$0

## Improvement/Commercial Details

Stories

Exterior Walls

Land Use - VACANT LAND

Year Built

Total Rooms

Bedrooms

Bathrooms

Half Baths

Heat

Fuel

Heating System

Fireplace Masonry

Fireplace Pre-Fab

Ground Floor Area

Total Living Area

Car Parking

## Other Buildings

Card	Year Built	Length	Width	Area	Type
------	---------------	--------	-------	------	------

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Permits

Date of Permit	Amount of Permit	Permit Number	Reason
07/26/2006		B0954644	DEM
06/14/2005	\$13,100	B0951316	FDA

## Sales

Date of Sale	Sales Price	Deed Number	Instrument Type
05/09/2019	\$5,000	19046774	WD
08/09/2018	\$100	18081313	QC
02/15/2011	\$6,140	9485-3	CH
07/24/2006	\$8,500	06136558	SW
12/01/2005	\$57,500	05204433	TD
11/23/2004	\$65,500	04198493	WD
03/16/2004	\$12,000	04046960	WD
12/12/1997	\$62,000	HC0786	WD
07/16/1989	\$0	1839	DN
06/14/1948		1981-533	UN

## **TVT I, LLC - Tower Ventures**

Phone: 901 244-4017  
495 Tennessee Street  
Suite: 152  
Memphis, TN 38103

December 2, 2021

Memphis and Shelby County Office of Planning and Development  
Memphis City Hall  
C/O Mr. Josh Whitehead  
Suite # 468  
125 North Mid-American Mall  
Memphis, TN 38103-2084

RE: Site Name: TN 1033; Winston Drive: **Proposed Tower Conditions** for a One Hundred Fifty Foot (150') Monopole Communications ("CMCS") Tower at 1609 Corning Ave, Memphis, TN 38127 (Parcel ID # 070053 00002)

### **1609 Corning Ave - Proposed Tower Conditions:**

- 1) One Hundred Fifty -foot (150') "Mono-pole" CMCS Designed for **Four (4)** set of Full Antenna Arrays
- 2) Six-foot (6') wooden site-proof Fence.
- 3) Six -foot (6') wooden gates.
- 4) A 50 ft x 50 ft Tower Lease Area.
- 5) The site parcel contains natural cover on all four sides of the proposed compound.
- 6) Landscaping screens will be built on the North, West and South sides of the tower compound.
- 7) Proposed site is 346 ft from Corning Drive. Set meets all applicable Setbacks.
- 8) Access will run north at an angle, back to Corning Ave.

## **TVT II, LLC - Tower Ventures**

Phone: 901 244-4017  
495 Tennessee Street  
Suite: 152  
Memphis, TN 38103

December 2, 2021

Memphis and Shelby County Office of Planning and Development  
Memphis City Hall  
C/O Mr. Josh Whitehead  
Suite # 468  
125 North Mid-American Mall  
Memphis, TN 38103-2084

RE: Site Name: TN 1033; Winston Drive **Letter of Shared Use** for a One Hundred Fifty Foot (150') Monopole Communications ("CMCS") Tower at 1609 Corning Ave, Memphis, TN 38127 (Parcel ID # 070053 00002)

Dear Mr. Whitehead:

TVT I, LLC kindly commits to allow shared use of the proposed tower at 1609 Corning Ave (Parcel ID #070053 00002), Memphis, TN 38127 in capacities based on existing and planned use, and if a future applicant agrees in writing to pay any reasonable charge for shared use, the potential use is technically compatible, and the future applicant is in good standing.

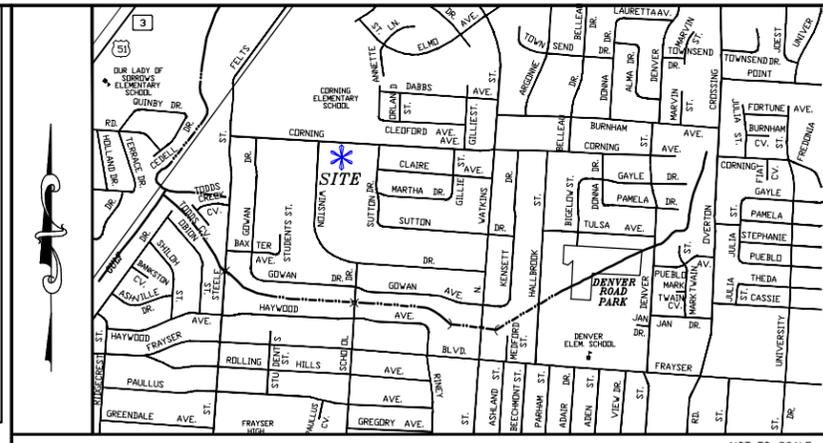
Sincerely,



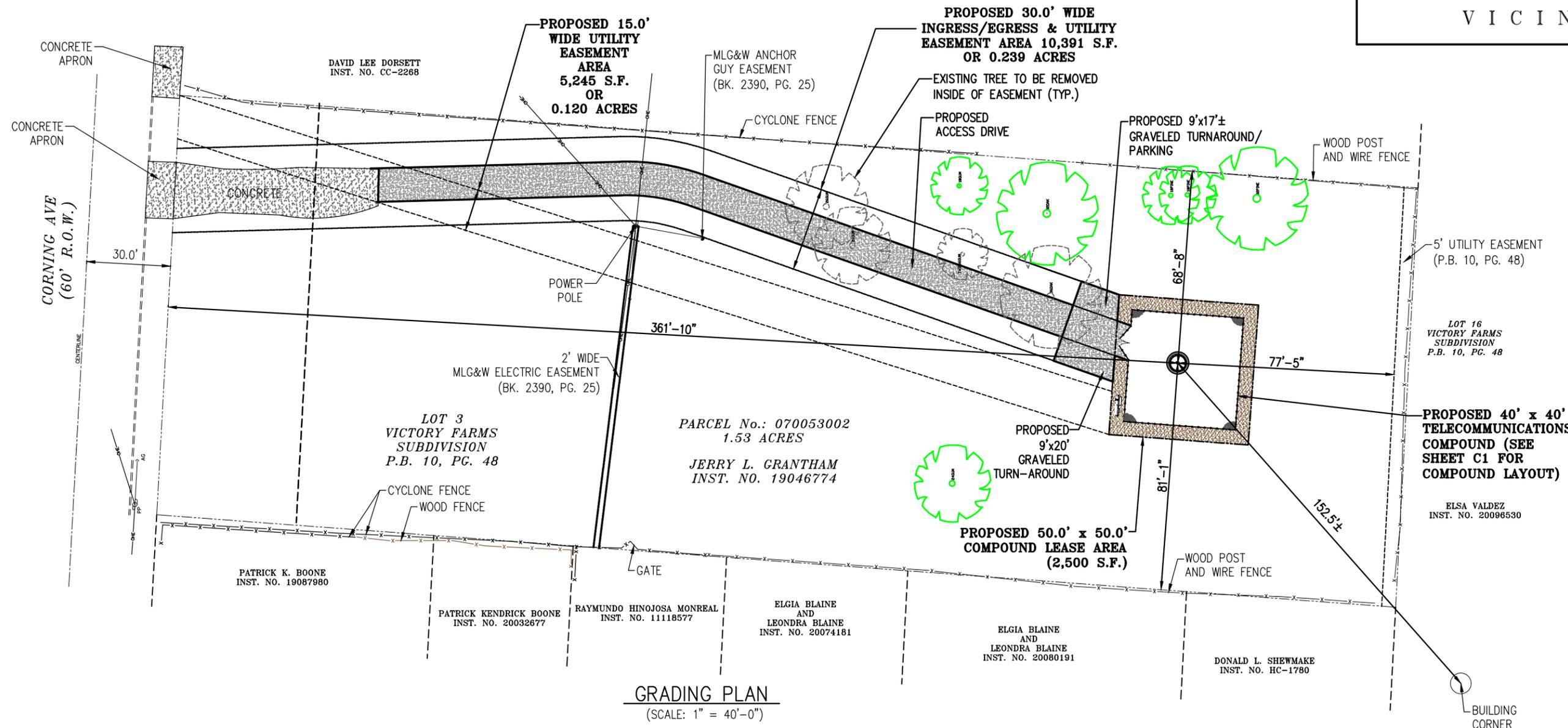
Lou Katzerman  
Sr. Site Acquisition and Zoning Manager  
TVT II, LLC - Tower Ventures  
Office: 901-244-4017  
[lou@towerventures.com](mailto:lou@towerventures.com)

**GRADING NOTES:**

1. THE CONTRACTOR IS TO VERIFY THAT ALL EXISTING TOPOGRAPHY AND HORIZONTAL GEOMETRY IS AS INDICATED ON THESE DRAWINGS. THE CONTRACTOR IS TO ESTABLISH THE EXISTENCE AND LOCATION OF ALL UNDERGROUND AND OVERHEAD UTILITIES AND SERVICES. IMMEDIATELY NOTIFY THE CONSTRUCTION MANAGER OF ANY DISCREPANCIES OR INTERFERENCES WHICH AFFECT THE WORK OF THIS CONTRACT.
2. ALL WORK SHALL BE IN ACCORDANCE WITH GOVERNING AUTHORITIES, CODES, AND REGULATIONS.
3. THE CONTRACTOR IS COMPLETELY RESPONSIBLE FOR CONTAINMENT OF SEDIMENTS AND CONTROL OF EROSION ON SITE. ANY DAMAGE TO ADJACENT OR DOWNSTREAM PROPERTIES WILL BE CORRECTED BY THE CONTRACTOR AT NO EXPENSE TO OWNER.
4. THE CONTRACTOR IS TO MAINTAIN ADEQUATE DRAINAGE AT ALL TIMES. DO NOT ALLOW WATER TO STAND OR POND. ANY DAMAGE TO STRUCTURES OR WORK ON THE SITE CAUSED BY INADEQUATE MAINTENANCE OF DRAINAGE PROVISION WILL BE THE RESPONSIBILITY OF THE CONTRACTOR AND ANY COST ASSOCIATED WITH REPAIRS FOR SUCH DAMAGE WILL BE AT THE CONTRACTOR'S EXPENSE.
5. ALL WASTE MATERIAL SHALL BE PROPERLY DISPOSED OF OFF SITE OR AS DIRECTED BY THE CONSTRUCTION MANAGER AND IN ACCORDANCE WITH JURISDICTIONAL AUTHORITIES.
6. SEED AND MULCH ALL DISTURBED AREAS NOT COVERED BY OTHER MATERIALS AS TO RESTORE DAMAGED PROPERTY BACK TO ORIGINAL CONDITION.
7. THE CONTRACTOR SHALL BE RESPONSIBLE TO CORRECT ALL DAMAGE TO THE SITE SUBSEQUENT TO THE INSTALLATION OF THE POWER AND TELCO LINES.
8. THE CONTRACTOR IS TO REMOVE ALL TREES WITHIN ACCESS EASEMENT AND LEASE AREA.



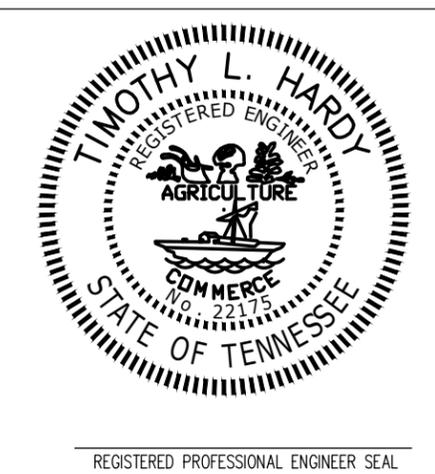
VICINITY MAP



CUT AND FILL SLOPES SHALL NOT EXCEED 2:1

HAY AND SEED ALL DISTURBED AREAS

SET BACKS	
FRONT	15'
REAR	10'
SIDE	15'



<b>PROPOSED 50'x50' GROUND LEASE AREA</b> 2,500 S.F.	<b>PROPOSED 40'x40' FENCED COMPOUND</b> 1,600 S.F.	NOTE: ALL ITEMS ARE EXISTING UNLESS OTHERWISE NOTED
---	---	---

ITEM	REVISIONS	BY	CHK. BY	DATE

**TVT II, LLC**

495 TENNESSEE STREET, SUITE 152  
MEMPHIS, TN 38103  
PHONE: (901) 794-9494 (EXT. 107)

DRAWN BY:	C.E. PERSONS	DATE:	11/22/21
CHECKED BY:	T.L. HARDY	DATE:	11/24/21
APPROVED BY:		DATE:	

**HARDY ENGINEERING, INC.**

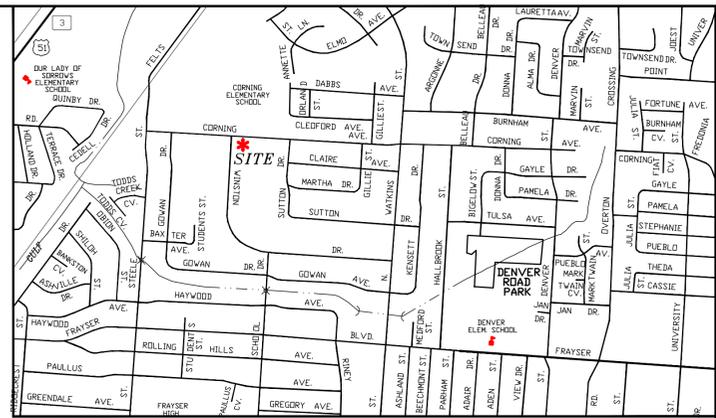
ENGINEERING AND CONSULTING  
209 LINDEN STREET, P.O. BOX 708  
TRUSSVILLE, AL 35173  
PHONE: (205) 655-1427 FAX: (205) 661-9027

DWG. NAME:	<b>OVERALL SITE LAYOUT</b>
SITE:	TN1033 - WINSTON DRIVE MEMPHIS, TENNESSEE
FOR:	TVT II, LLC MEMPHIS, TENNESSEE
CAD No:	TN1033_CO
SCALE:	AS SHOWN
DWG. No:	<b>CO</b>

**LEGEND:**  
 AG ANCHOR GUY  
 E EAST  
 INST. INSTRUMENT  
 N NORTH  
 NO. NUMBER  
 OHE OVERHEAD LINE  
 P.O.B. POINT OF BEGINNING  
 P.O.C. POINT OF COMMENCEMENT  
 PP POWER POLE  
 S SOUTH  
 Sq.Ft. SQUARE FEET  
 SIP SET 1/2" REBAR W/ PLASTIC CAP  
 W WEST  
 WV WATER VALVE  
 R.O.W. RIGHT-OF-WAY



**CORNING AVE**  
 (60' R.O.W.)



**VICINITY MAP**

NOT TO SCALE

**NOTES:**

1. Survey prepared for TVT II, LLC.
2. Bearings are relative only.
3. This survey was prepared from information contained in Commitment No. 9820792, Effective Date: September 1, 2021 at 8:00 AM by Chicago Title Insurance Company.
4. All deed book references shown hereon are recorded in the Register's Office of Shelby County, Tennessee.
5. This property is not located in a Special Flood Hazard Area per Flood Insurance Rate Map, Map No. 47157C 0440 F, Community Panel No. 470177 0440 F, Effective Date: September 28, 2007.
6. Structures visible on the date of this survey are shown hereon.
7. All visible utility structures located on this property of which we have knowledge are shown hereon.
8. There may be non-visible underground utilities crossing or serving this property of which we have no knowledge.
9. There may be underground or non-visible utilities, drain and/or sewer lines across this property that are not shown. The proper utility authorities should be contacted for more specific locations and information on underground utilities.
10. Subsurface and environmental conditions were not examined or considered as a part of this survey.
11. Governmental jurisdictional areas, if any, which might impact on the use of the premises were not located. No liability is assumed by the undersigned for any loss resulting from the exercise of any governmental jurisdiction affecting the use of the premises.
12. If this survey plat is also provided in electronic form, the electronic copy must be compared to the original hard copy issued at the survey date with its original seal to insure the accuracy of the information and to further insure that no changes, alterations or modifications have been made. No reliance should be made on a document transmitted by computer or other electronic means unless first compared to the original sealed document issued at the time of the survey.
13. Survey is valid only if print has original seal of surveyor.

**SCHEDULE B SECTION II EXCEPTIONS:**

1. Defects, liens, encumbrances, adverse claims or other matters, if any, created, first appearing in the public records or attaching subsequent to the Effective Date but prior to the date the proposed Insured acquires for value of record the estate or interest or Mortgage thereon covered by the Commitment. (not a survey matter)
2. The homestead, or other statutory marital rights, if any, of the spouse of any individual insured. (not a survey matter)
3. The rights or claims of parties in possession not shown by the public records. (not a survey matter)
4. Easements, or claims of easements, not shown by the public records. (none of which we are aware)
5. Any encroachment, encumbrance, violation, variation, or adverse circumstance affecting the Title that would be disclosed by an accurate and complete land survey of the Land. (none of which we are aware)
6. Any lien or right to a lien, for services, labor or material heretofore or hereafter furnished, imposed by law and not shown by the public records. (not a survey matter)
7. Any taxes or assessments not posted on the record of the taxing authority(ies) of which the Land described in Schedule A hereof is subject, including but not limited to: Supplemental, Revised and/or Corrected Assessments pursuant to T.C.A. Section 67-5-509 and 67-5-603 et seq. dealing with any improvements completed after January 1 and before September 1 of any year; or Back Assessments pursuant to T.C.A. Section 67-1-1001 et. seq.; or taxes based on a change in the classification of the Insured Land (Roll Back Taxes) pursuant to T.C.A. Section 67-5-1001 et seq. (not a survey matter)
8. Taxes or special assessments which are not shown as existing liens by the public records. (not a survey matter)
9. 2022 City of Memphis Taxes and 2022 Shelby County Taxes, a lien but not yet due and payable. (not a survey matter)
10. Easement of record in Book 1875, Page 183 and Book 2390, Page 25 of the Shelby County Register's Office.  
 - Bk. 1875, Pg. 183 (does not affect the subject property)  
 - Bk. 2390, Pg. 25 (shown hereon)
11. Subdivision restrictions, building setback lines and easements of record in Plat Book 10, Page 48, in the Register's Office of Shelby County, Tennessee. (shown hereon)

**DESCRIPTION (PROPOSED 50.0' X 50.0' WIDE GROUND LEASE AREA):**

Description of a Proposed 50.0' x 50.0' Ground Lease Area on part of the Jerry L. Grantham property recorded in Instrument No. 19046774 located in Memphis, Shelby County, Tennessee:

Commencing at found chisel mark at the intersection of the south line of Corning Ave (60' R.O.W.) and the west line of the David Lee Dorsett property recorded in Instrument No. CC-2268; thence south 04 degrees 15 minutes 22 seconds west with the west line of said property recorded in Instrument No. CC-2268, 340.44 feet; thence north 85 degrees 44 minutes 38 seconds east, 158.81 feet to a point of curvature; along a curve to the right having a radius of 90.00 feet, a delta angle of 20 degrees 53 minutes 58 seconds, a chord bearing of south 08 degrees 55 minutes 22 seconds west, a chord distance of 32.65 feet and an arc distance of 32.83 feet to a point of tangency; south 19 degrees 22 minutes 21 seconds west, 154.91 feet to a set 1/2" rebar with plastic cap located at the northeast corner of the above described Proposed 50.0' x 50.0' Ground Lease Area; thence north 85 degrees 44 minutes 38 seconds west with north line of said above described Proposed 50.0' x 50.0' Ground Lease Area, 31.08 feet; thence northwardly across said property recorded in Instrument No. 19046774 the following calls: north 19 degrees 22 minutes 21 seconds east, 163.01 feet to a point of curvature; along a curve to the left having a radius of 60.00 feet, a delta angle of 20 degrees 53 minutes 58 seconds, a chord distance of 21.76 feet and an arc distance of 21.89 feet to a point of tangency; north 01 degrees 31 minutes 37 seconds west, 161.27 feet to a point in the south line of said Corning Ave; thence south 86 degrees 49 minutes 46 seconds east with the south line of said Corning Ave, 30.10 feet to the point of beginning and containing 10,391 square feet of land.

**DESCRIPTION (PROPOSED 30.0' WIDE INGRESS/EGRESS & UTILITY EASEMENT):**

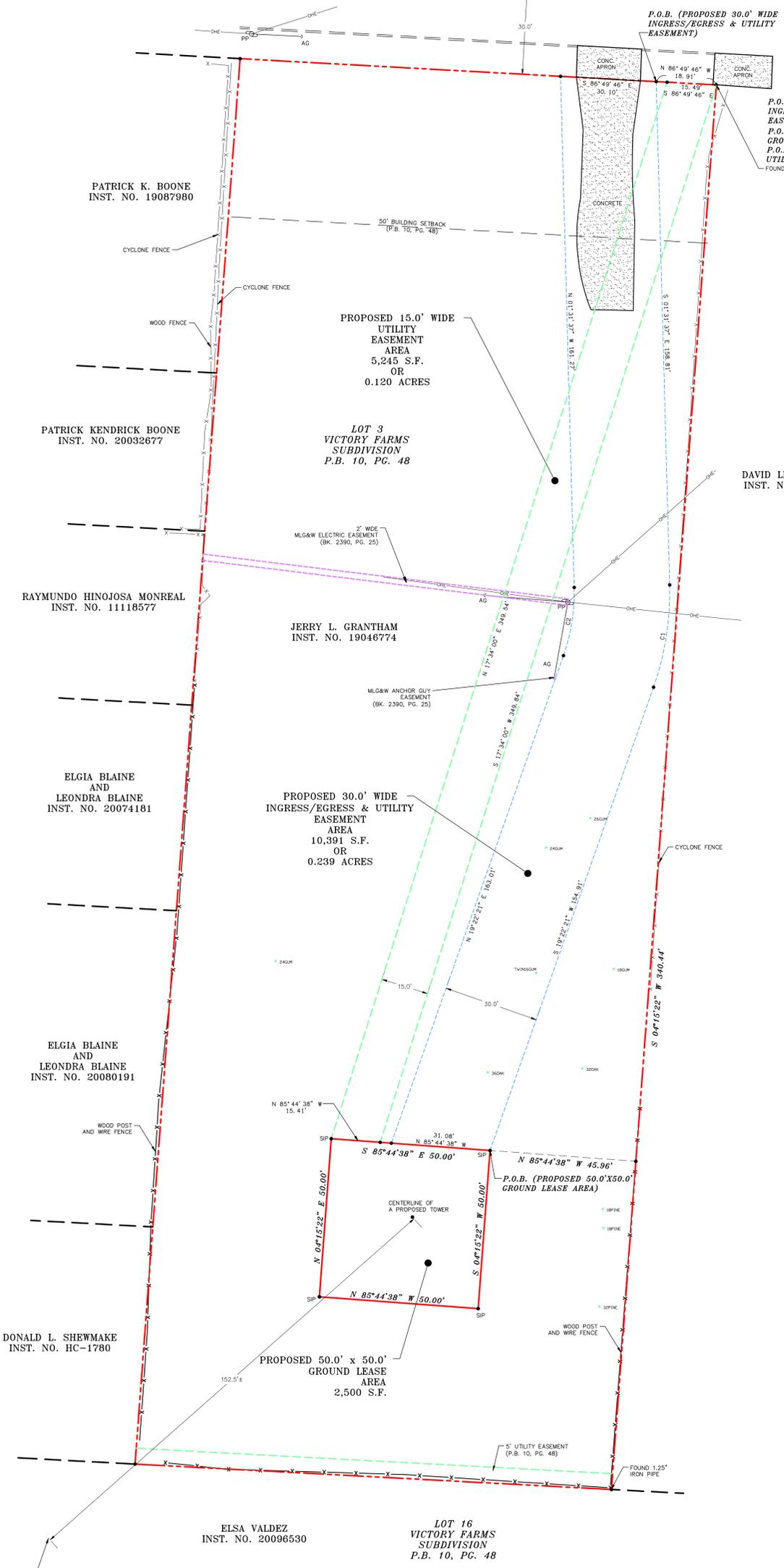
Description of a Proposed 30.0' Wide Ingress/Egress and Utility Easement across part of the Jerry L. Grantham property recorded in Instrument No. 19046774 located in Memphis, Shelby County, Tennessee:

Commencing at found chisel mark at the intersection of the south line of Corning Ave (60' R.O.W.) and the west line of the David Lee Dorsett property recorded in Instrument No. CC-2268; thence north 86 degrees 49 minutes 46 seconds west with the south line of said Corning Ave, 18.91 feet to the Point of Beginning; thence southwardly across the Jerry L. Grantham property recorded in Instrument No. 19046774 the following calls: south 01 degrees 31 minutes 37 seconds east, 158.81 feet to a point of curvature; along a curve to the right having a radius of 90.00 feet, a delta angle of 20 degrees 53 minutes 58 seconds, a chord bearing of south 08 degrees 55 minutes 22 seconds west, a chord distance of 32.65 feet and an arc distance of 32.83 feet to a point of tangency; south 19 degrees 22 minutes 21 seconds west, 154.91 feet to a set 1/2" rebar with plastic cap located at the northeast corner of the above described Proposed 50.0' x 50.0' Ground Lease Area; thence north 85 degrees 44 minutes 38 seconds west with north line of said above described Proposed 50.0' x 50.0' Ground Lease Area, 31.08 feet; thence northwardly across said property recorded in Instrument No. 19046774 the following calls: north 19 degrees 22 minutes 21 seconds east, 163.01 feet to a point of curvature; along a curve to the left having a radius of 60.00 feet, a delta angle of 20 degrees 53 minutes 58 seconds, a chord distance of 21.76 feet and an arc distance of 21.89 feet to a point of tangency; north 01 degrees 31 minutes 37 seconds west, 161.27 feet to a point in the south line of said Corning Ave; thence south 86 degrees 49 minutes 46 seconds east with the south line of said Corning Ave, 30.10 feet to the point of beginning and containing 10,391 square feet of land.

**DESCRIPTION (PROPOSED 15.0' WIDE UTILITY EASEMENT):**

Description of a Proposed 15.0' Wide Utility Easement across part of the Jerry L. Grantham property recorded in Instrument No. 19046774 located in Memphis, Shelby County, Tennessee:

Beginning at found chisel mark at the intersection of the south line of Corning Ave (60' R.O.W.) and the west line of the David Lee Dorsett property recorded in Instrument No. CC-2268; thence south 17 degrees 34 minutes 00 seconds west across the Jerry L. Grantham property recorded in Instrument No. 19046774, 349.84 feet to a point in the north line of the above described Proposed 50.0' x 50.0' Ground Lease Area; thence north 85 degrees 44 minutes 38 seconds west with the north line of said above described Proposed 50.0' x 50.0' Ground Lease Area, 15.41 feet to a set 1/2" rebar with plastic cap in the northwest corner of the said above described Proposed 50.0' x 50.0' Ground Lease Area; thence north 17 degrees 34 minutes 00 seconds east across said property recorded in Instrument No. 19046774, 349.54 feet to a point in the south line of said Corning Ave; thence south 86 degrees 49 minutes 46 seconds east with the south line of said Corning Ave, 15.49 feet to the point of beginning and containing 5,245 square feet or 0.120 acres of land.



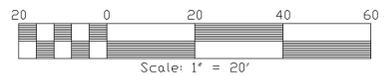
NUMBER	RADIUS	ARC LENGTH	DELTA ANGLE	CHORD LENGTH	CHORD DIRECTION	TANGENT
C1	90.00	32.83	20°53'58"	32.65	S 08°55'22" W	16.60
C2	60.00	21.89	20°53'58"	21.76	N 08°55'22" E	11.07

**CERTIFICATION:**  
 To TVT II, LLC, Burch Porter and Johnson, PLLC, and Chicago Title Insurance Company:  
 I hereby certify that this is a Category I Survey and that the ratio of precision of the above survey is 1:10,000 or greater.

MILESTONE LAND SURVEYING, INC.  
 By: *[Signature]*  
 Darryl McHard, RLS  
 President  
 Tennessee Certificate No. 2135

**MILESTONE LAND SURVEYING, INC.**  
 2880 COBB ROAD  
 LAKELAND, TN 38002  
 PHONE: (901) 867-8671  
 FAX: (901) 867-9889

**SURVEY OF A  
 PROPOSED 50'X50'  
 GROUND LEASE AREA  
 ON PART OF THE  
 JERRY L. GRANTHAM  
 PROPERTY  
 RECORDED AT  
 INST. NO. 19046774  
 MEMPHIS, SHELBY COUNTY, TENNESSEE**  
 SCALE: 1" = 20' DATE: OCTOBER 28, 2021





Sheldandra Y. Ford  
Shelby County Register of Deeds

Owner: GRANTHAM JERRY L

Owner:

Parcel Address: CORNING AVE

Parcel ID: 070053 00002

2021 Appraisal: \$11,200

Tax District: MEMPHIS

Year Built:

Lot Number: 0 3

Subdivision: VICTORY FARMS

Plat BK & PG: UNKNOWN

Dimensions: 150 X 445

Total Acres: 1.532

Owner Address: 3354 SCENIC HIGHWAY TER

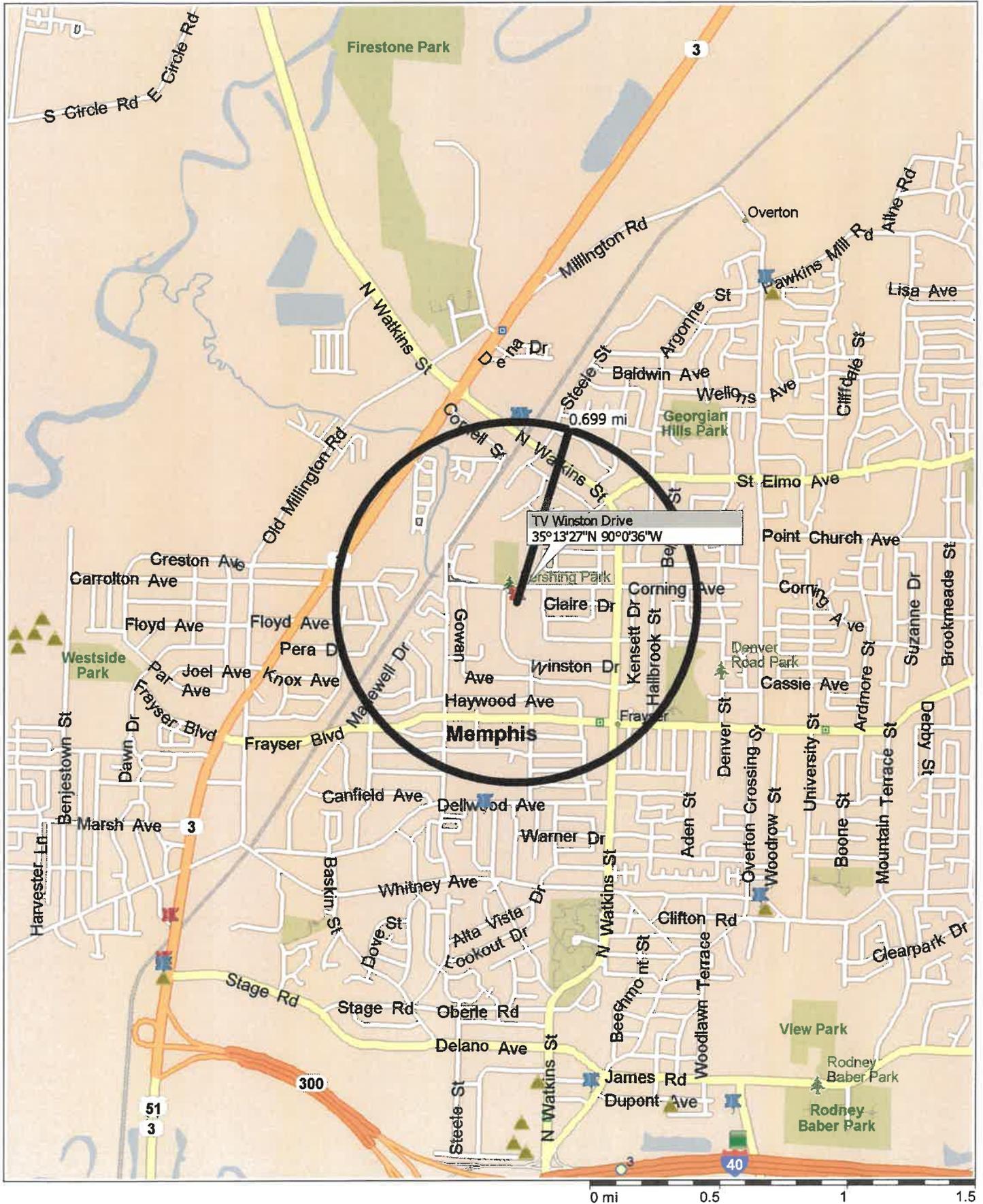
MEMPHIS TN

38128 5333

Map prepared on 8/16/2021



# TV Winston Drive Distance to Nearby Towers



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 Certain mapping and direction data © 2012 NAVTEQ. All rights reserved. The Data for areas of Canada includes information taken with permission from Canadian authorities, including: © Her Majesty the Queen in Right of Canada, © Queen's Printer for Ontario. NAVTEQ and NAVTEQ ON BOARD are trademarks of NAVTEQ. © 2012 Tele Atlas North America, Inc. All rights reserved. Tele Atlas and Tele Atlas North America are trademarks of Tele Atlas, Inc. © 2012 by Applied Geographic Solutions. All rights reserved. Portions © Copyright 2012 by Woodall Publications Corp. All rights reserved.

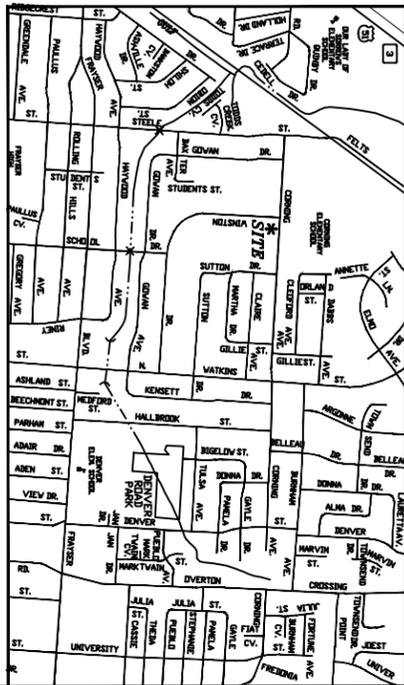


**LEGEND:**

AC	ANCHOR GUY
E	EAST
INST.	INSTRUMENT
N	NORTH
NO.	NUMBER
—	OVERHEAD LINE
P.O.B.	POINT OF BEGINNING
P.P.	POINT OF COMMENCEMENT
S	SOUTH
S.P.F.	SOUTH POLE
SP	SET
W	WEST
WV	WATER VALVE
ROW	RIGHT-OF-WAY



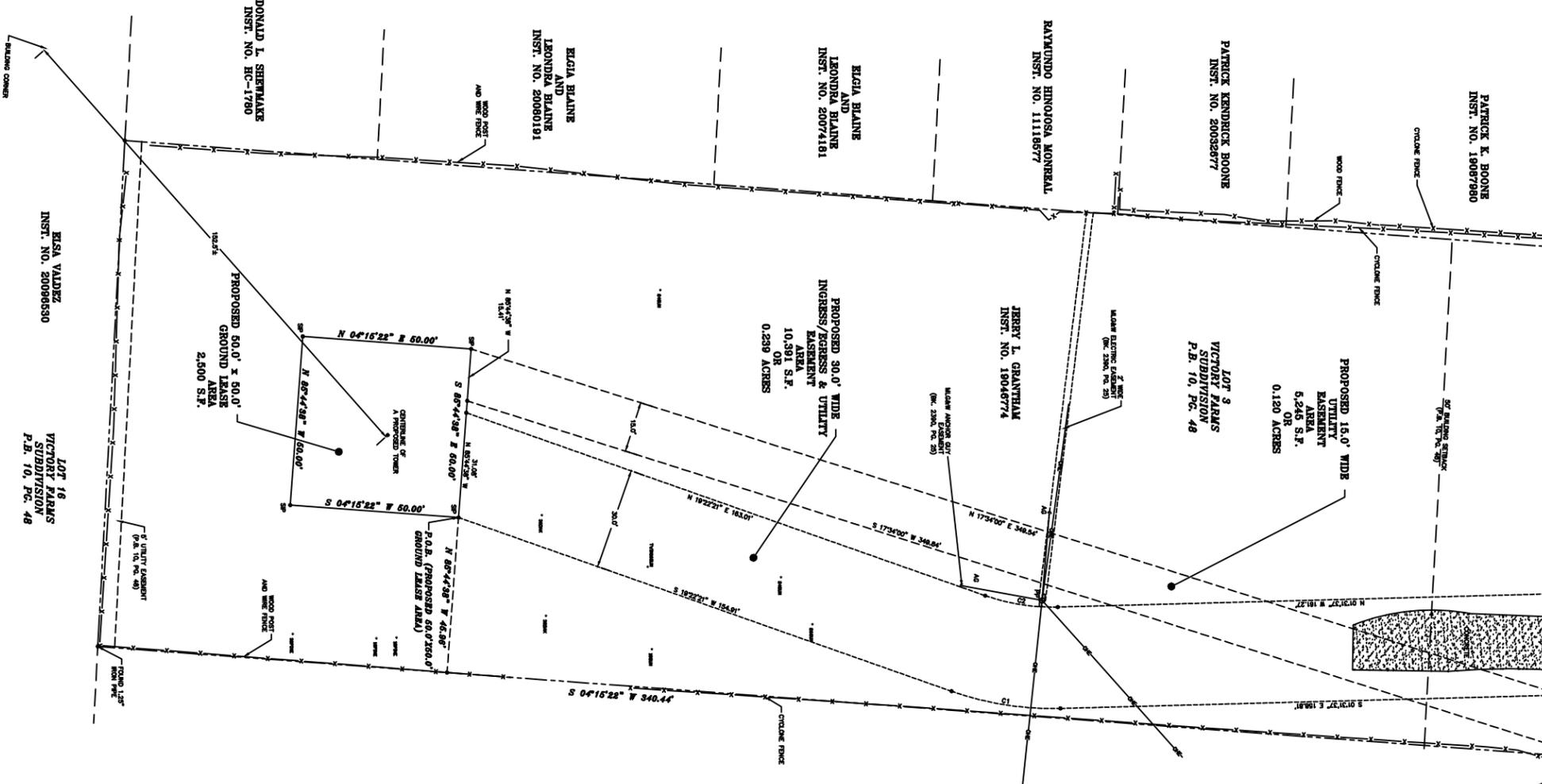
**CORNING AVE**  
(60' R.O.W.)



**VICINITY MAP**

NOT TO SCALE

P.O.B. (PROPOSED 30.0' WIDE EGRESS/EGRESS & UTILITY AREA) 5,248 S.F.  
P.O.B. (PROPOSED 50.0' WIDE GROUND LEASE AREA) 2,500 S.F.  
P.O.B. (PROPOSED 15.0' WIDE UTILITY EGRESS) 0,120 S.F.



NUMBER	RADIUS	ARC LENGTH	DELTA ANGLE	CHORD LENGTH	CHORD DIRECTION	TANGENT
C1	90.00	36.83	6°53'38"	36.65	S 08°55'22" E	16.64
C2	60.00	21.99	6°53'38"	21.76	N 08°55'22" E	11.07

**CERTIFICATION:**  
I, TROY L. LEE, Bureau Partner and Johnson, PLLC, and Chicago Title Insurance Company, hereby certify that this is a Category I Survey and that the ratio of precision of the unadjusted survey is 1:10,000 or greater.

By: Troy L. Lee, RLS Date: \_\_\_\_\_  
Professional Seal: \_\_\_\_\_  
Tennessee Certificate No. 2135



**MILESTONE LAND SURVEYING, INC.**  
280 COLUMBIAN BLVD.  
MEMPHIS, TENNESSEE 38102  
PHONE: (901) 867-8671  
FAX: (901) 867-9889

**NOTES:**

1. Survey prepared for TLT II, LLC.
2. Boundaries are relative only.
3. This survey was prepared from information contained in Commitment No. 9850792, Effective Date: September 1, 2021 at 8:00 AM by Chicago Title Insurance Company.
4. All deed book references shown herein are recorded in the Register's Office of Shelby County, Tennessee.
5. This property is not located in a Special Flood Hazard Area per Flood Insurance Rate Map, Map No. 47157C-0440-F, Community Panel No. 470177-0440-F, Effective Date: September 28, 2007.
6. Structures visible on the site of this survey are shown herein.
7. All visible utility structures located on the property of which we have knowledge are shown herein.
8. There may be non-visible underground utilities crossing or serving this property of which we have no knowledge.
9. There may be underground or non-visible utilities, drain and/or sewer lines across this property that are not shown. The proper utility authorities should be contacted for more specific locations and information on underground utilities.
10. Subsurface and environmental conditions were not examined or confirmed as a part of this survey.
11. Governmental jurisdictional areas, if any, which might impact on the use of the premises were not located. No liability is assumed by the surveyor for any errors or omissions in the determination of any governmental jurisdiction affecting the use of the premises.
12. If this survey plat is also provided in electronic form, the electronic copy must be compared to the original hard copy issued by the surveyor. Any discrepancies between the two versions of the information and to further insure that no changes, alterations or modifications have been made. No reliance should be placed on any information or data derived from the electronic version of this survey. The original hard copy version of this survey is the authoritative version.
13. Survey is valid only if print has original seal of surveyor.

**SCHEDULE B SECTION II EXEMPTIONS:**

1. Defects, liens, encumbrances, adverse claims or other matters, if any, appearing in the public records or attaching subsequent to the date of recording of this survey, shall not be deemed to have been discovered by the registered acquirer. (not a survey matter)
2. The homestead, or other statutory marital rights, if any, of the spouse of any individual named. (not a survey matter)
3. The rights or claims of parties in possession not shown by the public records. (not a survey matter)
4. Easements, or claims of easements, not shown by the public records. (none of which we are aware)
5. Any encroachment, encumbrance, violation, violation, or adverse claimants affecting the title that would be disclosed by an accurate and complete land survey of the land. (none of which we are aware)
6. Any lien or right to a lien for services, labor or material furnished or to be furnished. (not a survey matter)
7. Any taxes or assessments not posted on the record of the taxing authority. (not a survey matter)
8. Any tax or assessment not shown on existing items by the public records. (not a survey matter)
9. 2002 City of Memphis Taxes and 2022 Shelby County Taxes, a lien but not yet due and payable. (not a survey matter)
10. Easement of record in Book 1875, Page 183 and Book 2390, Page 25 of the Shelby County Register's Office. (Does not affect the subject property)
11. Subdivision restrictions, building setback lines and easements of record in Plat Book 10, Page 48, in the Register's Office of Shelby County, Tennessee. (shown herein)

**DESCRIPTION (PROPOSED 50.0' X 50.0' WIDE GROUND LEASE AREA):**

Description of a Proposed 50.0' x 50.0' Ground Lease Area on part of the Jerry L. Grantham property, recorded in Instrument No. 19046774 located in Memphis, Shelby County, Tennessee:  
Commencing at found chain mark, at the intersection of the south line of Corning Ave (60' R.O.W.) and the west line of the David Lee Dorsett property, recorded in Instrument No. CC-2286, thence north 88 degrees 49 minutes 22 seconds west with the line of said property, recorded in Instrument No. CC-2286, 240.44 feet; thence south 01 degrees 31 minutes 37 seconds east, 156.81 feet to a point of curvature, along a curve to the right 08 degrees 55 minutes 22 seconds west, a chord distance of 52.65 feet, and on an arc distance of 52.65 feet to a point of tangency, south 19 degrees 22 minutes 21 seconds west, 154.81 feet to a set 1/2" rebar with plastic cap located at the northeast corner of the above described Proposed 50.0' x 50.0' Ground Lease Area; thence north 04 degrees 15 minutes 22 seconds east, 163.01 feet to a point of curvature, along a curve to the right 08 degrees 55 minutes 22 seconds west, a chord distance of 21.76 feet, and on an arc distance of 21.76 feet to a point of tangency, north 01 degrees 31 minutes 37 seconds west, 181.27 feet to a point in the south line of said Corning Ave, thence south 85 degrees 49 minutes 46 seconds east with the south line of said Corning Ave, 30.10 feet to the point of beginning and containing 19,571 square feet or 0.239 acres (1/4 acre).

**DESCRIPTION OF A Proposed 15.0' Wide Utility Easement across part of the Jerry L. Grantham property, recorded in Instrument No. 19046774 located in Memphis, Shelby County, Tennessee:**

Description of a Proposed 15.0' Wide Utility Easement across part of the Jerry L. Grantham property, recorded in Instrument No. 19046774 located in Memphis, Shelby County, Tennessee:  
Beginning at found chain mark, at the intersection of the south line of Corning Ave (60' R.O.W.) and the west line of the David Lee Dorsett property, recorded in Instrument No. CC-2286, thence south 17 degrees 53 minutes 48 seconds west with the line of said property, recorded in Instrument No. CC-2286, 156.81 feet to a point of curvature, along a curve to the right 08 degrees 55 minutes 22 seconds west, a chord distance of 52.65 feet, and on an arc distance of 52.65 feet to a point of tangency, south 19 degrees 22 minutes 21 seconds west, 154.81 feet to a set 1/2" rebar with plastic cap located at the northeast corner of the above described Proposed 50.0' x 50.0' Ground Lease Area; thence north 04 degrees 15 minutes 22 seconds east, 163.01 feet to a point of curvature, along a curve to the right 08 degrees 55 minutes 22 seconds west, a chord distance of 21.76 feet, and on an arc distance of 21.76 feet to a point in the south line of said Corning Ave, thence south 85 degrees 49 minutes 46 seconds east with the south line of said Corning Ave, 30.10 feet to the point of beginning and containing 5,248 square feet or 0.120 acres of land.

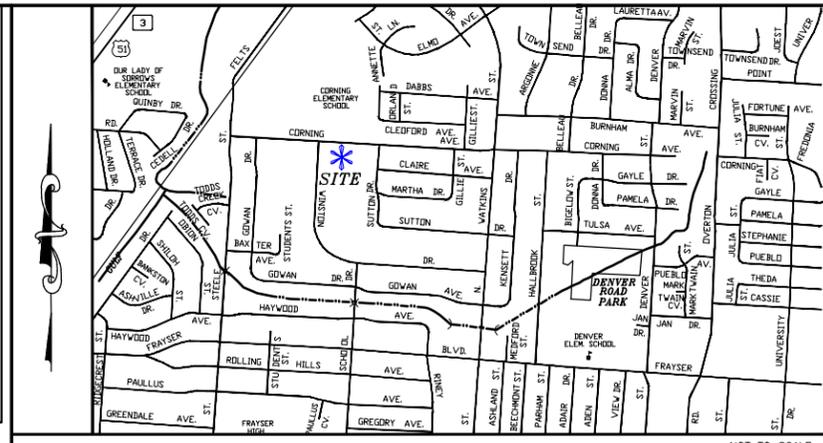
**SURVEY OF A  
PROPOSED 50'X50'  
GROUND LEASE AREA  
ON PART OF THE  
JERRY L. GRANTHAM  
PROPERTY  
RECORDED AT  
INST. NO. 19046774  
MEMPHIS, SHELBY COUNTY, TENNESSEE  
SCALE: 1" = 20'  
DATE: OCTOBER 20, 2021**



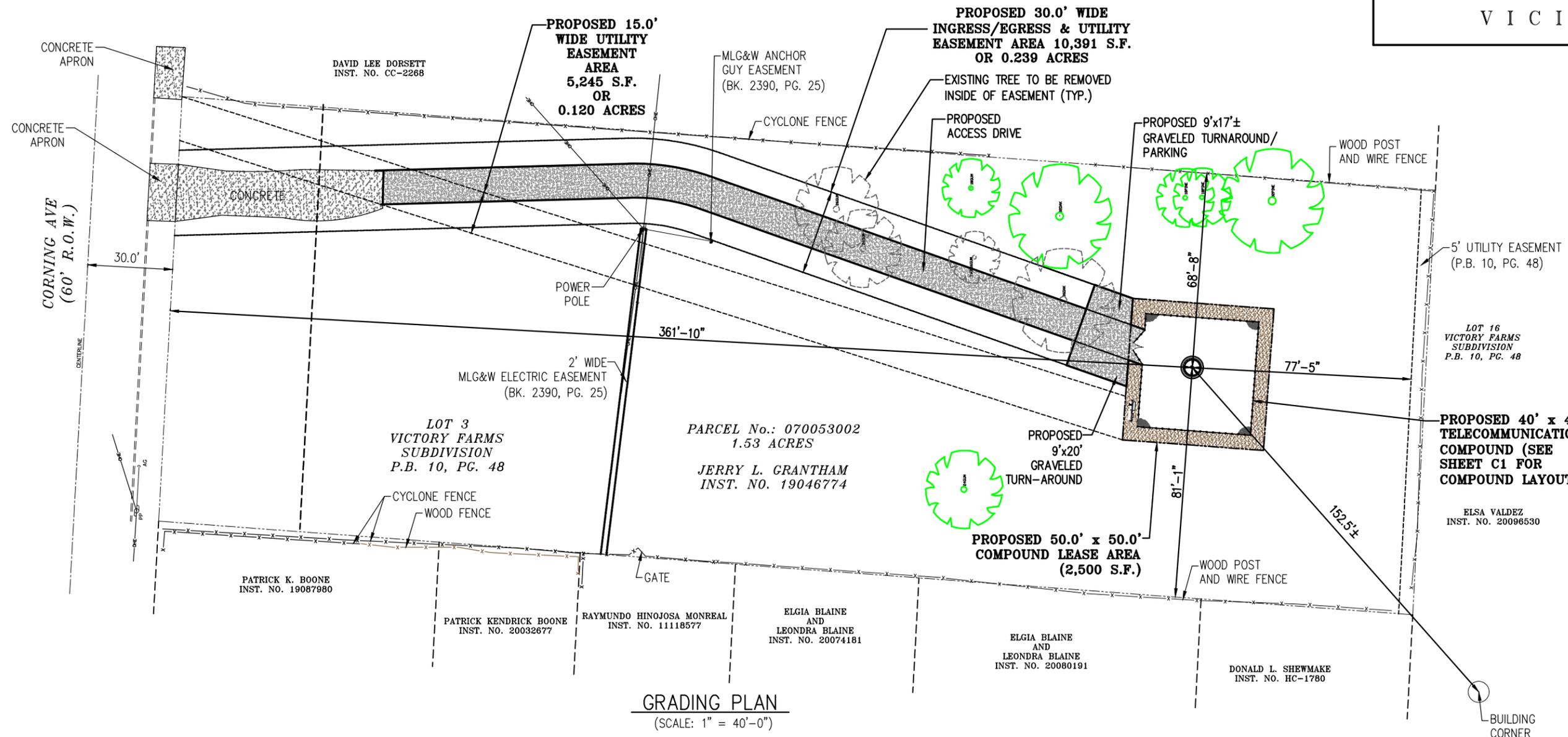
Scale: 1" = 20'  
MIS JOB No. 81172  
BTZ/ANG

**GRADING NOTES:**

1. THE CONTRACTOR IS TO VERIFY THAT ALL EXISTING TOPOGRAPHY AND HORIZONTAL GEOMETRY IS AS INDICATED ON THESE DRAWINGS. THE CONTRACTOR IS TO ESTABLISH THE EXISTENCE AND LOCATION OF ALL UNDERGROUND AND OVERHEAD UTILITIES AND SERVICES. IMMEDIATELY NOTIFY THE CONSTRUCTION MANAGER OF ANY DISCREPANCIES OR INTERFERENCES WHICH AFFECT THE WORK OF THIS CONTRACT.
2. ALL WORK SHALL BE IN ACCORDANCE WITH GOVERNING AUTHORITIES, CODES, AND REGULATIONS.
3. THE CONTRACTOR IS COMPLETELY RESPONSIBLE FOR CONTAINMENT OF SEDIMENTS AND CONTROL OF EROSION ON SITE. ANY DAMAGE TO ADJACENT OR DOWNSTREAM PROPERTIES WILL BE CORRECTED BY THE CONTRACTOR AT NO EXPENSE TO OWNER.
4. THE CONTRACTOR IS TO MAINTAIN ADEQUATE DRAINAGE AT ALL TIMES. DO NOT ALLOW WATER TO STAND OR POND. ANY DAMAGE TO STRUCTURES OR WORK ON THE SITE CAUSED BY INADEQUATE MAINTENANCE OF DRAINAGE PROVISION WILL BE THE RESPONSIBILITY OF THE CONTRACTOR AND ANY COST ASSOCIATED WITH REPAIRS FOR SUCH DAMAGE WILL BE AT THE CONTRACTOR'S EXPENSE.
5. ALL WASTE MATERIAL SHALL BE PROPERLY DISPOSED OF OFF SITE OR AS DIRECTED BY THE CONSTRUCTION MANAGER AND IN ACCORDANCE WITH JURISDICTIONAL AUTHORITIES.
6. SEED AND MULCH ALL DISTURBED AREAS NOT COVERED BY OTHER MATERIALS AS TO RESTORE DAMAGED PROPERTY BACK TO ORIGINAL CONDITION.
7. THE CONTRACTOR SHALL BE RESPONSIBLE TO CORRECT ALL DAMAGE TO THE SITE SUBSEQUENT TO THE INSTALLATION OF THE POWER AND TELCO LINES.
8. THE CONTRACTOR IS TO REMOVE ALL TREES WITHIN ACCESS EASEMENT AND LEASE AREA.



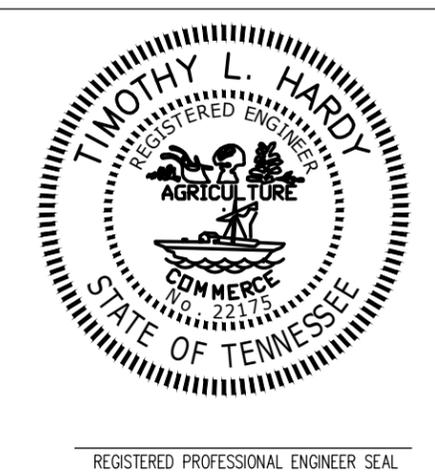
VICINITY MAP



CUT AND FILL SLOPES SHALL NOT EXCEED 2:1

HAY AND SEED ALL DISTURBED AREAS

SET BACKS	
FRONT	15'
REAR	10'
SIDE	15'



**GRADING PLAN**  
(SCALE: 1" = 40'-0")

- PROPOSED 50'x50' GROUND LEASE AREA 2,500 S.F.**
- PROPOSED 40'x40' FENCED COMPOUND 1,600 S.F.**
- NOTE: ALL ITEMS ARE EXISTING UNLESS OTHERWISE NOTED

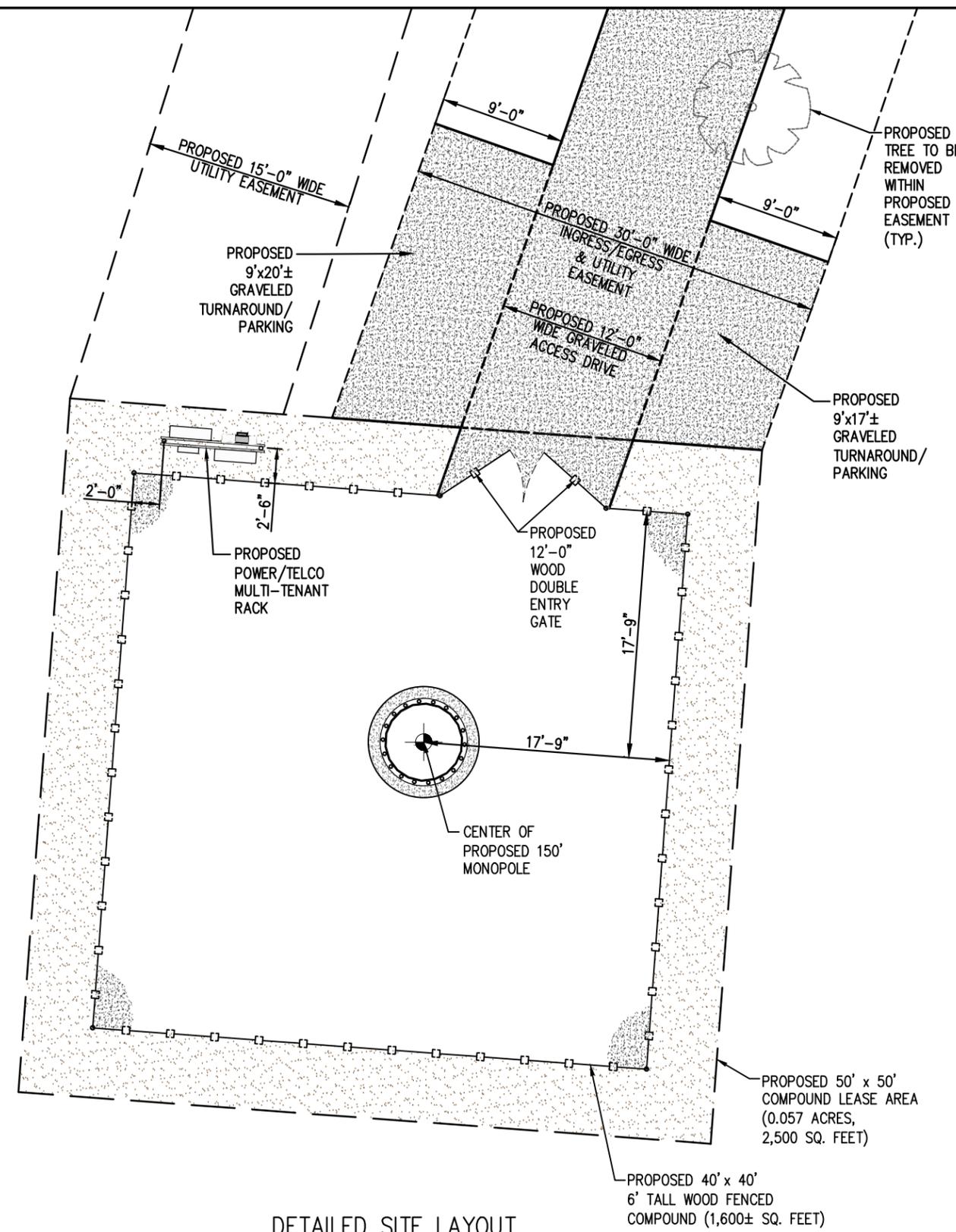
ITEM	REVISIONS	BY	CHK. BY	DATE

**TVT II, LLC**  
495 TENNESSEE STREET, SUITE 152  
MEMPHIS, TN 38103  
PHONE: (901) 794-9494 (EXT. 107)

DRAWN BY: C.E. PERSONS DATE: 11/22/21  
CHECKED BY: T.L. HARDY DATE: 11/24/21  
APPROVED BY: DATE:

**HARDY ENGINEERING, INC.**  
ENGINEERING AND CONSULTING  
209 LINDEN STREET, P.O. BOX 708  
TRUSSVILLE, AL 35173  
PHONE: (205) 655-1427 FAX: (205) 661-9027

DWG. NAME: **OVERALL SITE LAYOUT**  
SITE: TN1033 - WINSTON DRIVE  
MEMPHIS, TENNESSEE  
FOR  
TVT II, LLC  
MEMPHIS, TENNESSEE  
CAD No: TN1033\_CO SCALE: AS SHOWN DWG. No: C0



**DETAILED SITE LAYOUT**  
(SCALE: 1" = 10'-0")

**NOTES:**

1. BOUNDARY AND PROPOSED SITE FEATURES ARE BASED ON THE SURVEY. CONTRACTOR SHALL IMMEDIATELY NOTIFY THE ENGINEER OF ANY DISCREPANCIES BETWEEN ACTUAL FIELD CONDITIONS AND THIS DRAWING.
2. CONTRACTOR SHALL FURNISH ALL MATERIALS FOR ELECTRICAL SERVICE AS FOLLOWS:
  - a. 600 AMP INCOMING TO MULTI-TENANT METER CENTER.
3. GROUNDING OF ANTENNAS MOUNTS, COAX, AND EQUIPMENT SHALL BE IN ACCORDANCE WITH VERIZON WIRELESS SPECIFICATIONS.
4. ANY MATERIALS STORED ON SITE SHALL BE STORED IN CLOSED OR COVERED CONTAINERS AND ALL EXCESS WASTE MATERIALS WILL BE PROPERLY DISPOSED OF.
5. ALL HARDWARE TO BE STAINLESS STEEL, **NO PLATED METAL TO BE USED.**
6. CONTRACTOR AND/OR DEVELOPER SHALL BE RESPONSIBLE FOR CONSTRUCTION & MAINTENANCE OF EROSION AND SEDIMENTATION CONTROLS DURING CONSTRUCTION FOR PROTECTION OF ADJACENT PROPERTIES, ROADWAYS, AND WATERWAYS.
7. CONTRACTOR AND/OR DEVELOPER ARE RESPONSIBLE FOR PROVIDING SITE FREE OF DRAINAGE PROBLEMS.
8. CONTRACTOR IS RESPONSIBLE FOR MAINTAINING A PROPER TRAFFIC CONTROL PLAN FOR PUBLIC SAFETY ADJACENT TO CONSTRUCTION SITE. THE TRAFFIC CONTROL PLAN MUST BE IN ACCORDANCE WITH CITY OF MEMPHIS AND SHELBY COUNTY DESIGN STANDARDS AND SPECIFICATIONS.
9. SEEDING & MULCHING OF THE SITE SHALL BE ACCOMPLISHED AS SOON AS POSSIBLE AFTER COMPLETION OF THE SITE DEVELOPMENT. THE CONTRACTOR IS RESPONSIBLE FOR PROVIDING & MAINTAINING AN ADEQUATE COVER OF VEGETATION OVER THE SITE.



REGISTERED PROFESSIONAL ENGINEER SEAL

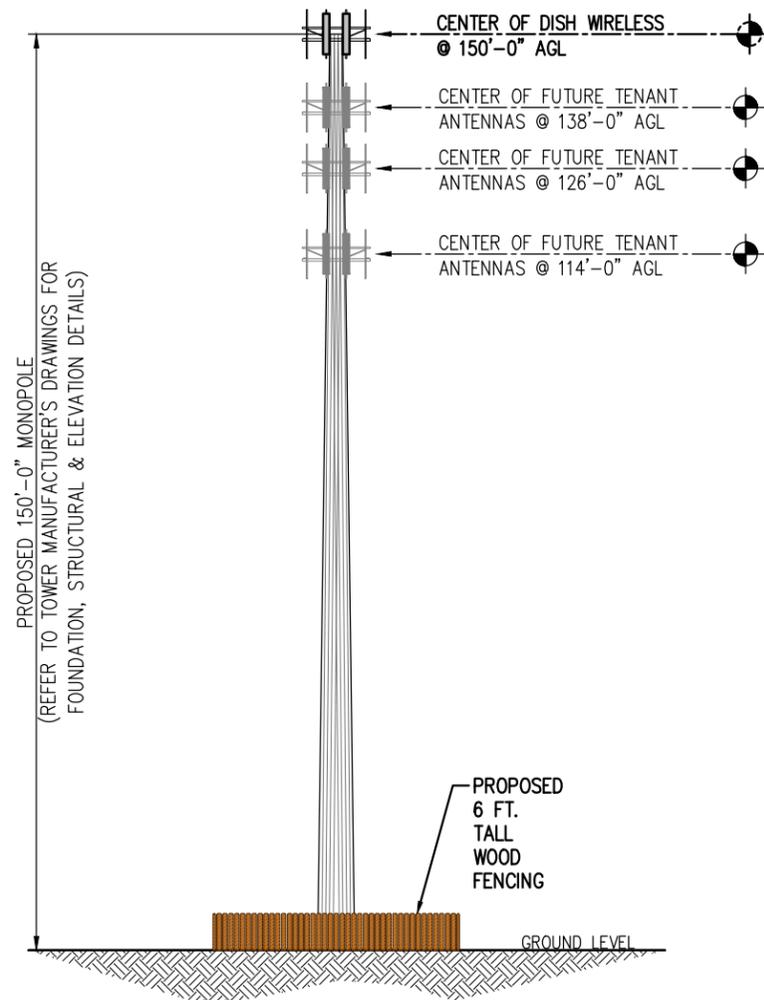
ITEM	REVISIONS	BY	CHK. BY	DATE

**TVT II, LLC**  
495 TENNESSEE STREET, SUITE 152  
MEMPHIS, TN 38103  
PHONE: (901) 794-9494 (EXT. 107)

DRAWN BY: C.E. PERSONS DATE: 11/09/21  
CHECKED BY: T.L. HARDY DATE: 11/11/21  
APPROVED BY: DATE:

**HARDY ENGINEERING, INC.**  
ENGINEERING AND CONSULTING  
209 LINDEN STREET, P.O. BOX 708  
TRUSSVILLE, AL 35173  
PHONE: (205) 655-1427 FAX: (205) 661-9027

DWG. NAME: **DETAILED SITE LAYOUT**  
SITE: TN1033 - WINSTON DRIVE  
MEMPHIS, TENNESSEE  
FOR  
TVT II, LLC  
MEMPHIS, TENNESSEE  
CAD No: TN1033\_C1 SCALE: AS SHOWN DWG. No: C1



**150' MONOPOLE ELEVATION**  
(SCALE: 1" = 30'-0")



REGISTERED PROFESSIONAL ENGINEER SEAL

ITEM	REVISIONS	BY	CHK. BY	DATE

**TVT II, LLC**

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495 TENNESSEE STREET, SUITE 152  
MEMPHIS, TN 38103  
PHONE: (901) 794-9494 (EXT. 107)

DRAWN BY: C.E. PERSONS      DATE: 11/22/21

CHECKED BY: T.L. HARDY      DATE: 11/24/21

APPROVED BY: \_\_\_\_\_      DATE: \_\_\_\_\_

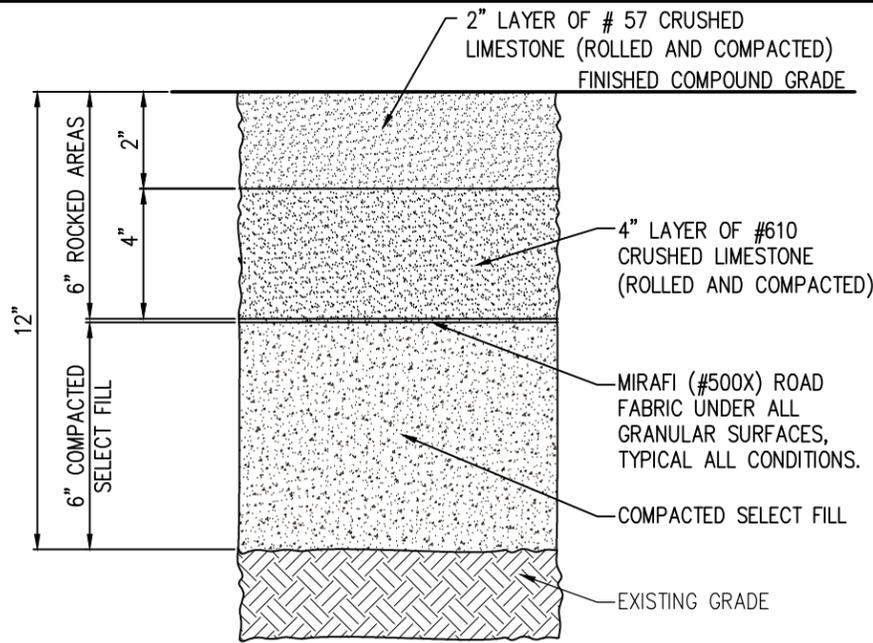
**HARDY ENGINEERING, INC.**

ENGINEERING AND CONSULTING  
209 LINDEN STREET, P.O. BOX 708  
TRUSSVILLE, AL 35173  
PHONE: (205) 655-1427 FAX: (205) 661-9027

DWG. NAME: **TOWER ELEVATION**

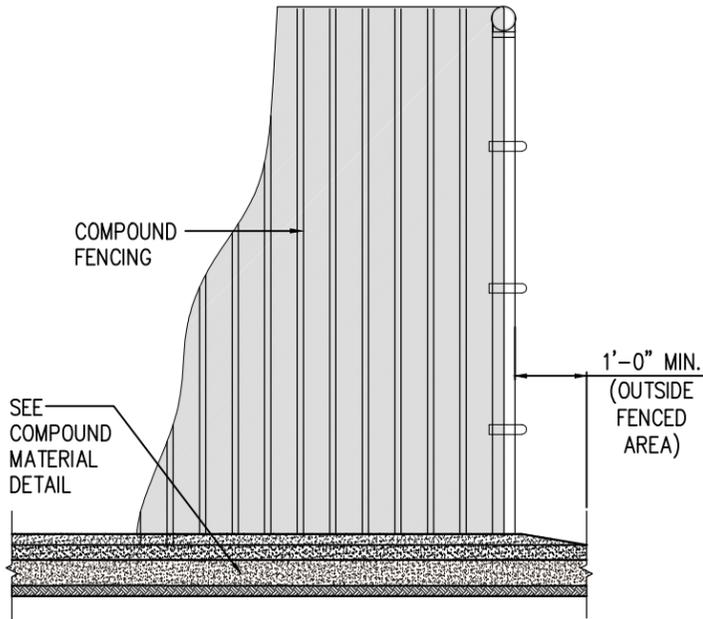
SITE: TN1033 - WINSTON DRIVE  
MEMPHIS, TENNESSEE  
FOR  
TVT II, LLC  
MEMPHIS, TENNESSEE

CAD No: TN1033\_C2      SCALE: AS SHOWN      DWG. No: **C2**



COMPOUND AREA MATERIAL

NOT TO SCALE

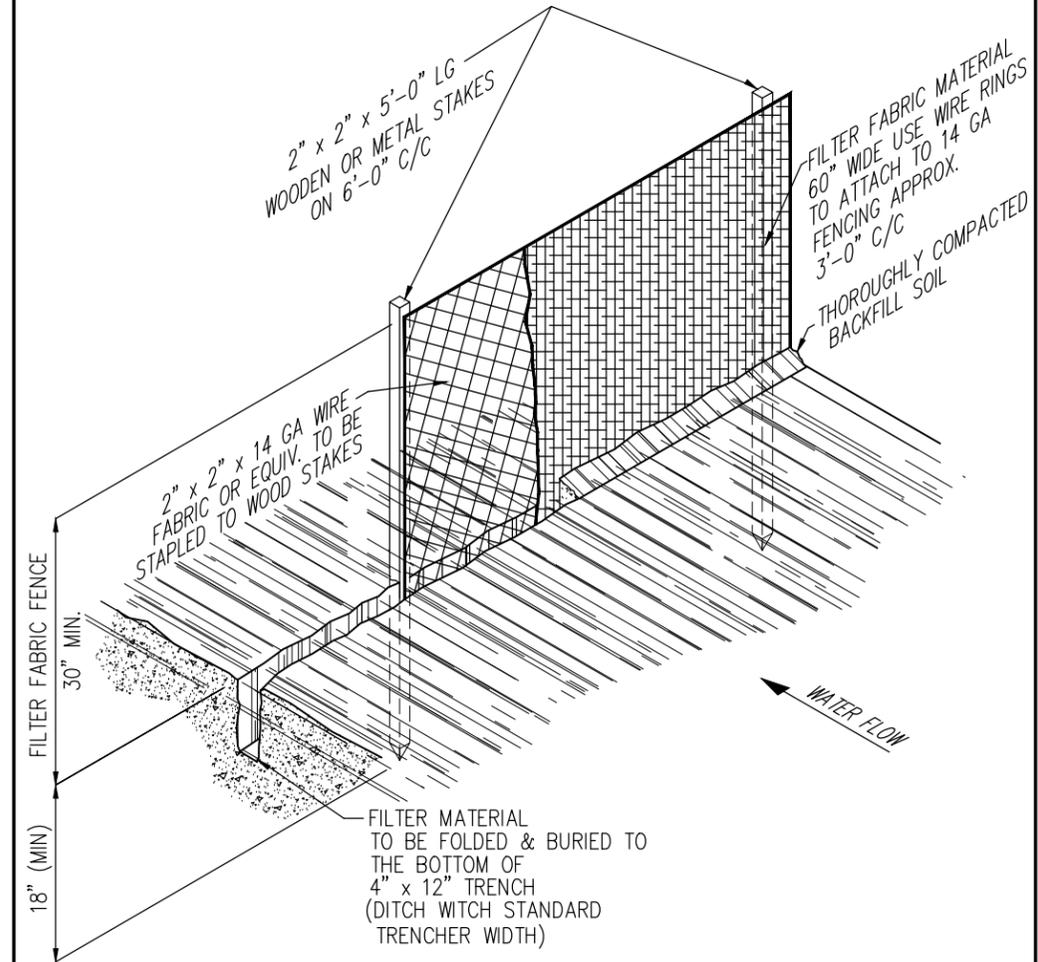


COMPOUND CORNER PROFILE (TYPICAL)

NOT TO SCALE

**COMPOUND MATERIAL NOTES:**

- 1.) ROLL AND COMPACT ALL ROCKED AREAS.
- 2.) SUITABLE FILL MATERIAL SHALL BE COMPACTED IN PLACE AT AN ELEVATION OF 6" ABOVE EXISTING OR SURROUNDING GRADE BEFORE FABRIC AND ROCK IS PUT IN PLACE.

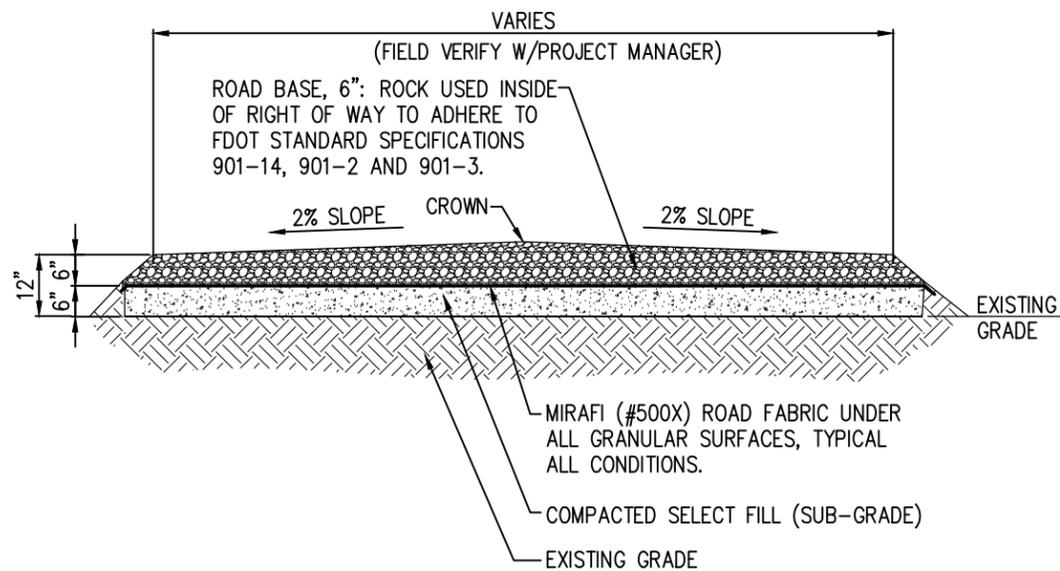


SILT FENCE DETAIL

NOT TO SCALE

**NOTES:**

1. SILT FENCE SHOULD BE INSPECTED AFTER EACH RAINFALL AND SEDIMENT DEPOSITS MUST BE REMOVED WHEN THEY REACH 1/4 THE HEIGHT OF THE FENCE.
2. FABRIC SHALL RETAIN 85% OF SOIL, BASED ON SIEVE ANALYSIS, BUT NOT TO BE FINER THAN OPENING SIZE 70.



GRAVEL TURNAROUND & ACCESS ROAD

NOT TO SCALE

**NOTE:**  
ALL WORK WITHIN THE RIGHT OF WAY (R.O.W.) TO BE DONE BY ALDOT 2013 STANDARDS AND SPECIFICATIONS



REGISTERED PROFESSIONAL ENGINEER SEAL

ITEM	REVISIONS	BY	CHK. BY	DATE

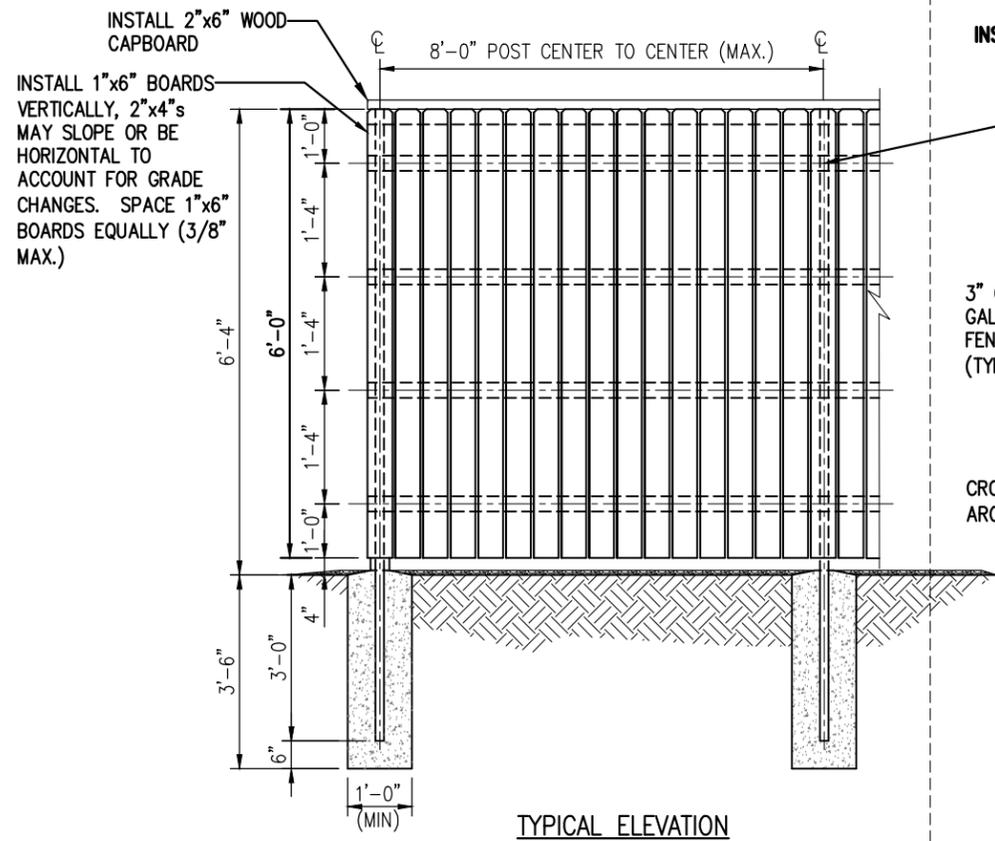
**TVT II, LLC**

495 TENNESSEE STREET, SUITE 152  
MEMPHIS, TN 38103  
PHONE: (901) 794-9494 (EXT. 107)

DRAWN BY:	C.E. PERSONS	DATE:	11/09/21
CHECKED BY:	T.L. HARDY	DATE:	11/11/21
APPROVED BY:		DATE:	

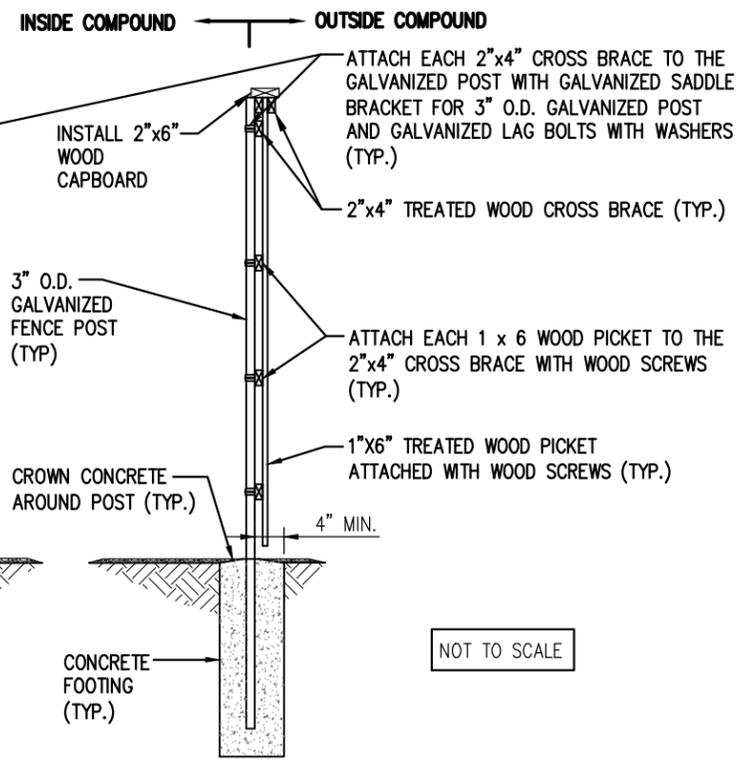
**HARDY ENGINEERING, INC.**  
ENGINEERING AND CONSULTING  
209 LINDEN STREET, P.O. BOX 708  
TRUSSVILLE, AL 35173  
PHONE: (205) 655-1427 FAX: (205) 661-9027

DWG. NAME:	<b>SITE DETAILS</b>		
SITE:	TN1033 - WINSTON DRIVE MEMPHIS, TENNESSEE FOR TVT II, LLC MEMPHIS, TENNESSEE		
CAD No:	TN1033_D1	SCALE:	AS SHOWN
DWG. No.:	<b>D1</b>		



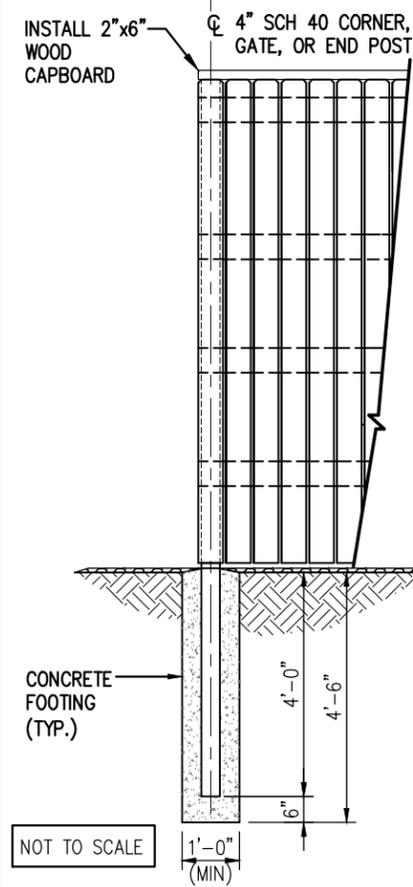
TYPICAL ELEVATION  
OUTSIDE COMPOUND

NOT TO SCALE



TYPICAL WOOD FENCE/STEEL POST

NOT TO SCALE



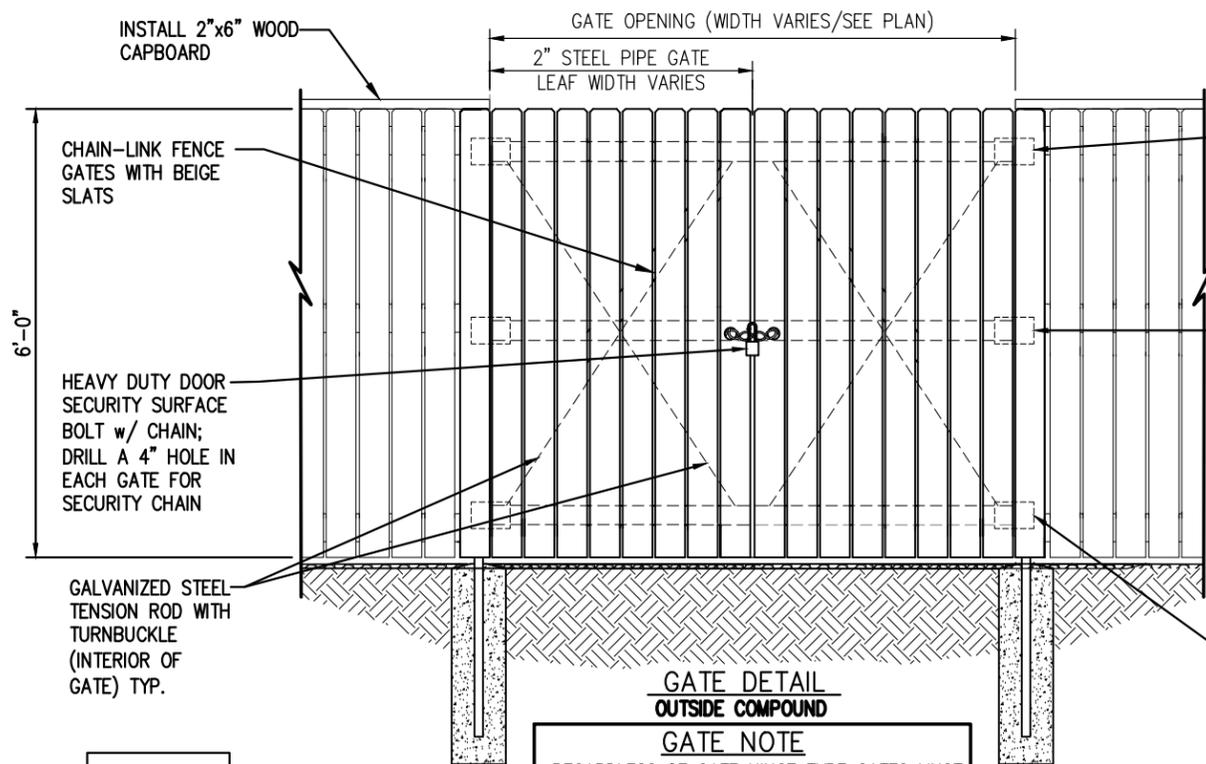
TYPICAL WOOD FENCING/STEEL POST CORNER DETAIL

NOT TO SCALE

**TYPICAL WOOD FENCING NOTES**

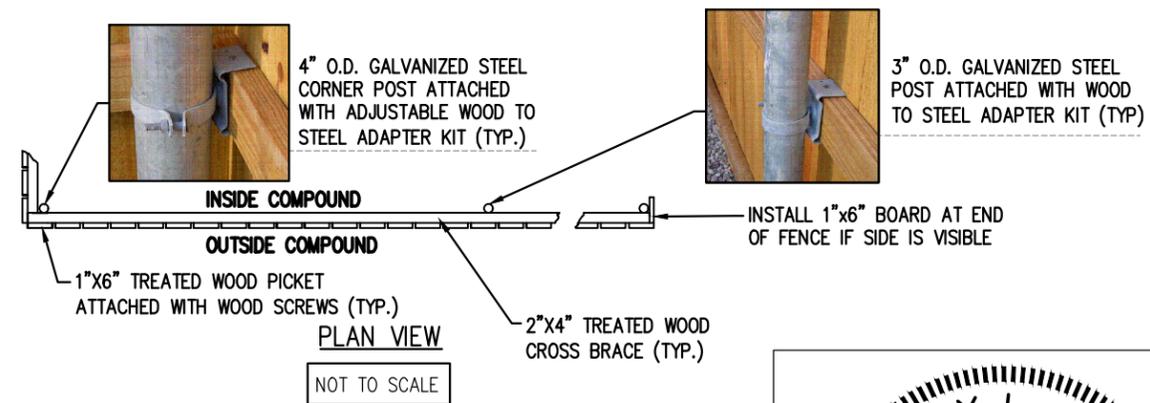
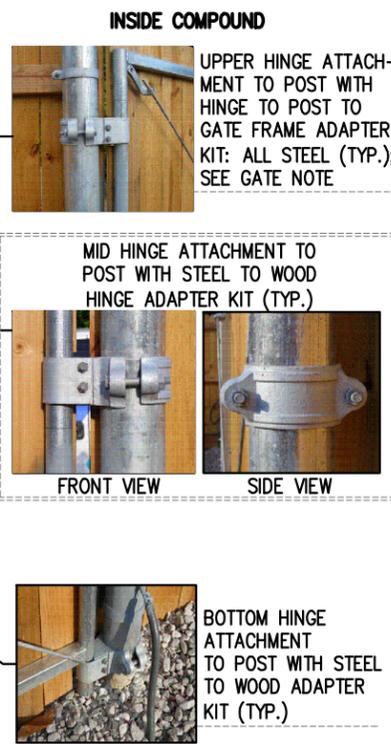
1. FENCE CONSTRUCTION TO BE CONDUCTED IN ACCORDANCE WITH LOCAL DESIGN CODES.
2. ALL WOOD FENCE RAILS TO BE NO. 2 PINE CCA PRESSURE TREATED LUMBER. FENCE TO BE NATURAL BROWN IN COLOR.
3. PICKETS TO BE 7/8" THICK NO. 1 SPRUCE OR CCA PRESSURE TREATED PINE.
4. POSTS TO BE 3" O.D. GALVANIZED STEEL, GATE POST AND CORNER POST TO BE 4" O.D. GALVANIZED STEEL.
5. ALL HARDWARE TO BE HOT DIP GALVANIZED. NO PLATED MATERIAL SHALL BE ALLOWED.
6. ALL BOARDS SHALL BE SCREWED IN WITH WOOD SCREWS TO SECURE WOOD. NAILS ARE NOT PERMITTED.
7. WHERE NEW FENCE POST FOUNDATIONS ARE TO BE INSTALLED OVER OTHER FOUNDATION STRUCTURES, THE FENCE POST AND THE FOUNDATION SHALL BE CAST IN PLACE ON TOP OF EXISTING FOUNDATIONS. MINIMUM FENCE POST FOUNDATION DEPTH SHALL BE 3'-0"

**NOTE:**  
METAL BRACKETS ATTACH TO POST AND WOOD ATTACHES TO BRACKETS. ADAPTER KIT CONSIST OF GALVANIZED BRACKETS, LAG BOLTS AND WASHERS PRE-APPROVED BY TVT II, LLC.

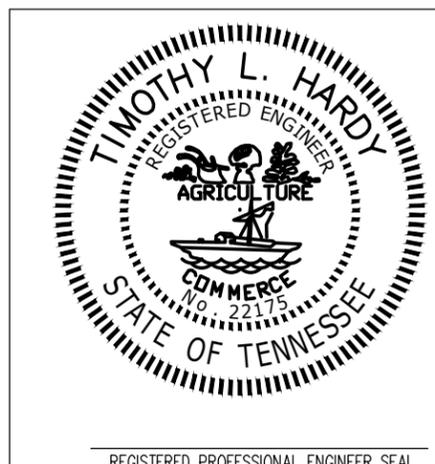


**GATE NOTE**  
REGARDLESS OF GATE HINGE TYPE GATES MUST OPEN OUT TO NINETY DEGREES (90°) MINIMUM.

NOT TO SCALE



NOT TO SCALE



REGISTERED PROFESSIONAL ENGINEER SEAL

ITEM	REVISIONS	BY	CHK. BY	DATE

**TVT II, LLC**

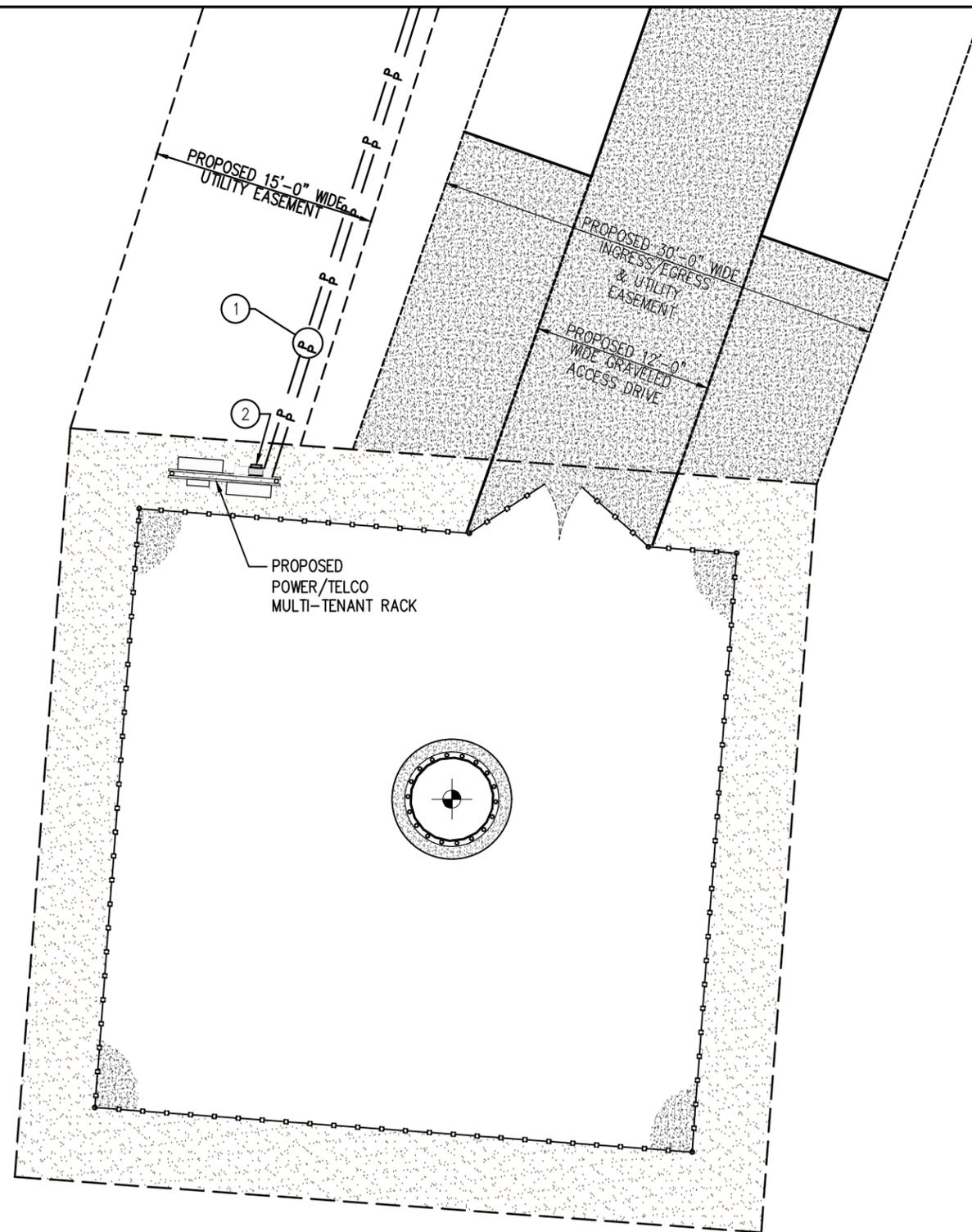
495 TENNESSEE STREET, SUITE 152  
MEMPHIS, TN 38103  
PHONE: (901) 794-9494 (EXT. 107)

DRAWN BY:	C.E. PERSONS	DATE:	11/22/21
CHECKED BY:	T.L. HARDY	DATE:	11/24/21
APPROVED BY:		DATE:	

**HARDY ENGINEERING, INC.**

ENGINEERING AND CONSULTING  
209 LINDEN STREET, P.O. BOX 708  
TRUSSVILLE, AL 35173  
PHONE: (205) 655-1427 FAX: (205) 661-9027

DWG. NAME:	<b>COMPOUND FENCING DETAILS</b>		
SITE:	TN1033 - WINSTON DRIVE MEMPHIS, TENNESSEE		
FOR:	TVT II, LLC MEMPHIS, TENNESSEE		
CAD No:	TN1033_D2	SCALE:	AS SHOWN
DWG. No:	D2		



**ELECTRICAL LAYOUT**  
(SCALE: 1" = 10'-0")

**ELECTRICAL NOTES:**

1. BOUNDARY AND PROPOSED SITE FEATURES ARE BASED ON FIELD MEASUREMENTS. CONTRACTOR SHALL IMMEDIATELY NOTIFY THE ENGINEER OF ANY DISCREPANCIES BETWEEN ACTUAL FIELD CONDITIONS AND THIS DRAWING.
2. CONTRACTOR SHALL FURNISH ALL MATERIALS FOR ELECTRICAL SERVICE AS FOLLOWS:
  - a. 600 AMP INCOMING TO MULTI-TENANT METER CENTER.
3. GROUNDING OF ANTENNAS MOUNTS, COAX, AND EQUIPMENT SHALL BE IN ACCORDANCE WITH CLIENT SPECIFICATIONS.
4. ANY MATERIALS STORED ON SITE SHALL BE STORED IN CLOSED OR COVERED CONTAINERS AND ALL EXCESS WASTE MATERIALS WILL BE PROPERLY DISPOSED OF.
5. ALL HARDWARE TO BE STAINLESS STEEL, **NO PLATED METAL TO BE USED.**
6. CONTRACTOR AND/OR DEVELOPER SHALL BE RESPONSIBLE FOR CONSTRUCTION & MAINTENANCE OF EROSION AND SEDIMENTATION CONTROLS DURING CONSTRUCTION FOR PROTECTION OF ADJACENT PROPERTIES, ROADWAYS, AND WATERWAYS.
7. CONTRACTOR AND/OR DEVELOPER ARE RESPONSIBLE FOR PROVIDING SITE FREE OF DRAINAGE PROBLEMS.
8. CONTRACTOR AND/OR DEVELOPER SHALL BE RESPONSIBLE FOR MAINTAINING A PROPER TRAFFIC CONTROL PLAN FOR PUBLIC SAFETY ADJACENT TO CONSTRUCTION SITE. THE TRAFFIC CONTROL PLAN MUST BE IN ACCORDANCE WITH LATEST (AMUTCO) EDITION.

**ELECTRICAL ROUTING NOTES:**

①	(2) 3" (POWER) CONDUITS TO BE RUN UNDERGROUND FROM SERVICE BOARD TO POWER DEMARCATION.
②	INSTALL METER WITH DISCONNECT ON 7' UTILITY H-FRAME.

SEE SHEET G1 FOR GROUNDING LAYOUT



REGISTERED PROFESSIONAL ENGINEER SEAL

ITEM	REVISIONS	BY	CHK. BY	DATE

**TVT II, LLC**

495 TENNESSEE STREET, SUITE 152  
MEMPHIS, TN 38103  
PHONE: (901) 794-9494 (EXT. 107)

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APPROVED BY:		DATE:	

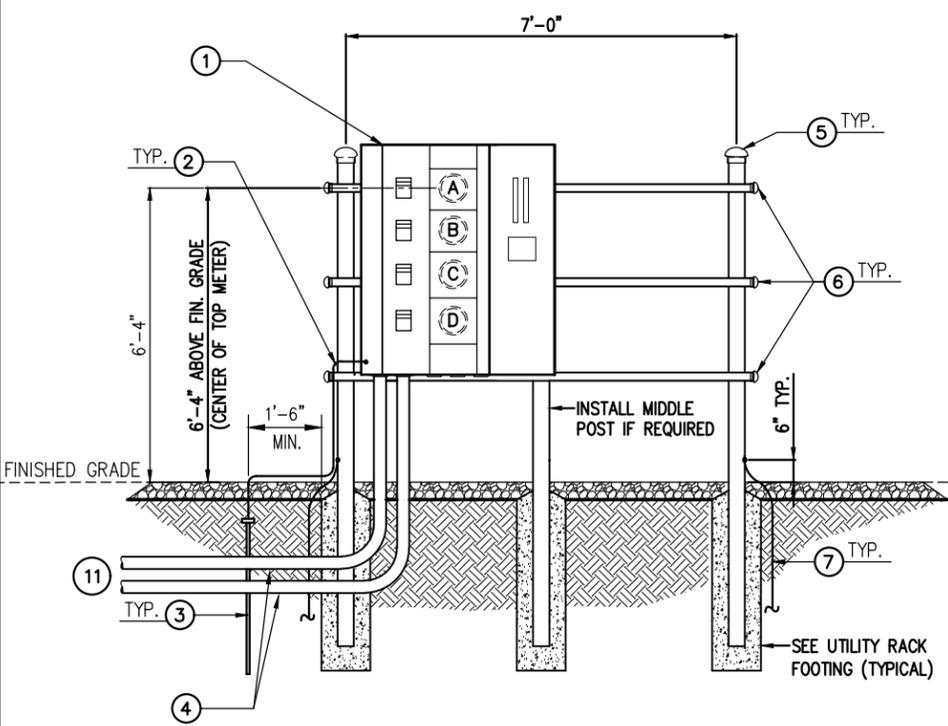


**HARDY ENGINEERING, INC.**

ENGINEERING AND CONSULTING  
209 LINDEN STREET, P.O. BOX 708  
TRUSSVILLE, AL 35173

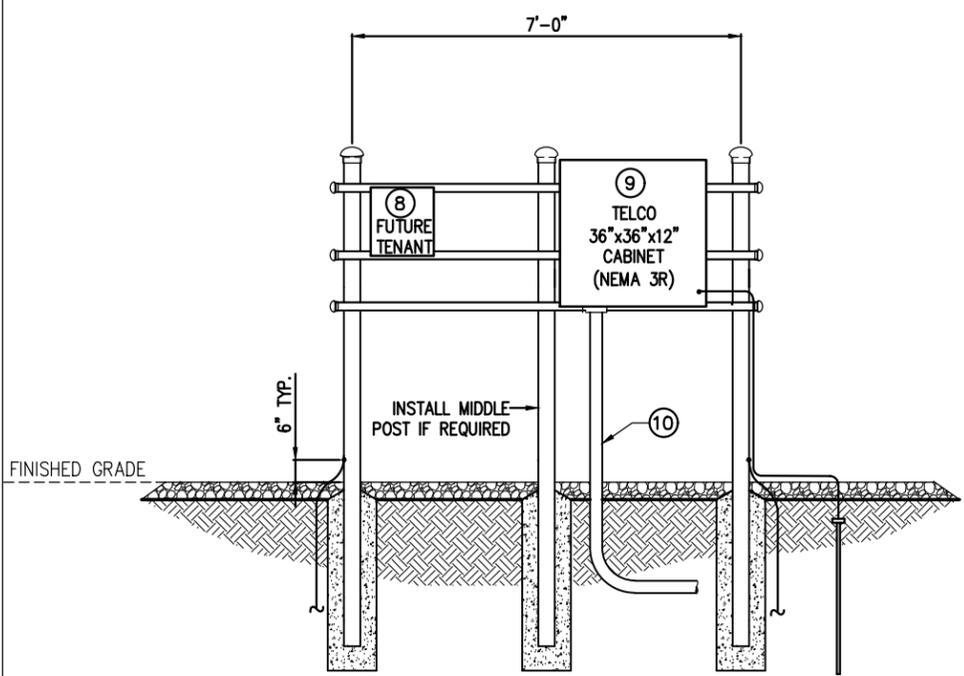
PHONE: (205) 655-1427 FAX: (205) 661-9027

DWG. NAME:	<b>ELECTRICAL LAYOUT</b>		
SITE:	TN1033 - WINSTON DRIVE MEMPHIS, TENNESSEE FOR TVT II, LLC MEMPHIS, TENNESSEE		
CAD No:	TN1033_E1	SCALE:	AS SHOWN
DWG. No:	<b>E1</b>		



MULTI-TENANT ELECTRIC UTILITY RACK (FRONT)

NOT TO SCALE

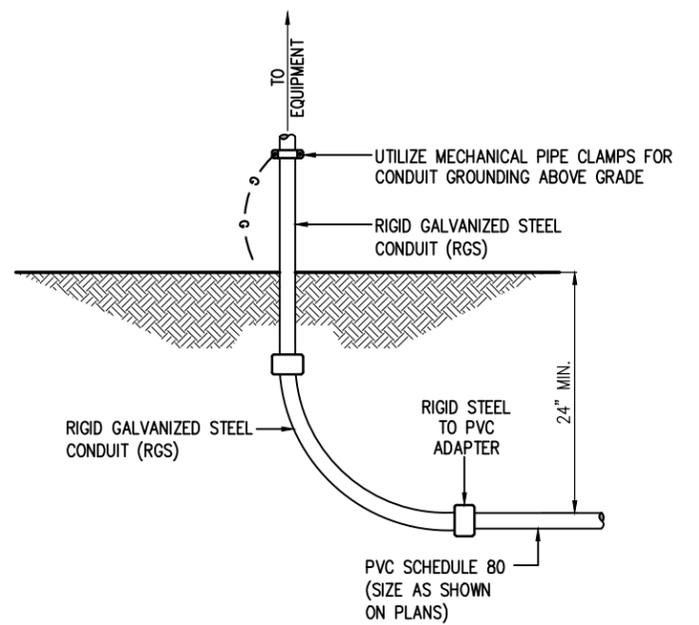


MULTI-TENANT ELECTRIC UTILITY RACK (REAR)

NOT TO SCALE

NOTES:

- 1.) ALL UNDERGROUND CONDUIT EXCEPT RIGID METALLIC SHALL BE SCHEDULE 80.
- 2.) ALL CONDUIT SHALL BE SUPPORTED WITH UNISTRUT AND STRAPS @ UTILITY RACK.



UNDERGROUND CONDUIT STUB-UP DETAIL

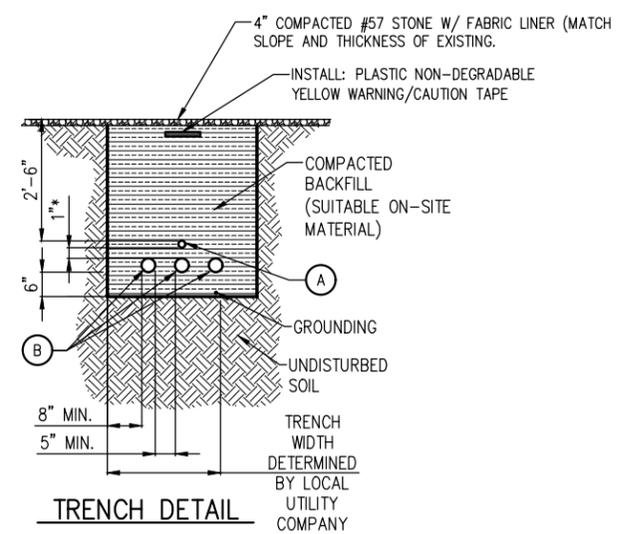
NOT TO SCALE

UTILITY RACK & SERVICE POLE LEGEND

①	4 POSITION METER CENTER (600A/120/240V, 1PH SERVICE)
②	#2 SOLID BARE TINNED COPPER GROUND WIRE IN 1" CONDUIT BETWEEN ELECTRICAL SERVICE ENTRANCE GROUND ROD AND GROUND LUG IN MULTI-TENANT METER CENTER (SERVICE GROUND)
③	3/4" x 10'-0" LONG COPPERCLAD ELECTRICAL STEEL SERVICE ENTRANCE GROUND ROD
④	ELECTRIC SERVICE CONDUCTORS IN (2) 3" CONDUITS TO SERVICE POLE/PAD MOUNTED TRANSFORMER
⑤	3-1/2" O.D. GALVANIZED STEEL POST AND METAL CAP (TYPICAL)
⑥	END CAP ALL ENDS. ZINC COATED "UNISTRUT" HOT DIP GALVANIZED, FIELD DRESS RAW ENDS OF CUT UNISTRUT WITH ZINC COATING, EXTEND PAST POST FOR U-BOLT ATTACHMENT (TYPICAL)
⑦	#2 SOLID BARE TINNED COPPER GROUND WIRE TO TOWER GROUND RING (TYPICAL)
⑧	FUTURE TENANT TELCO BOX (NEMA 3R)
⑨	TELCO 36"x36"x12" CABINET (NEMA 3R)
⑩	4" CONDUIT TO TELCO PEDESTAL/DEMARCATON
⑪	FINAL CONNECTION BY LOCAL POWER COMPANY

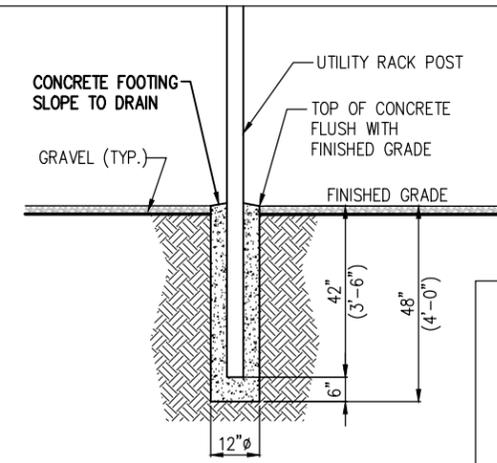
- A TELCO CONDUIT
- B POWER CONDUITS

\* CONDUIT SIZE, TYPE, QUANTITY AND SEPARATION DIMENSION TO BE DETERMINED BY LOCAL UTILITY COMPANY HAVING JURISDICTION



TRENCH DETAIL

NOT TO SCALE



GROUNDING NOT SHOWN THIS VIEW

UTILITY RACK FOOTING

NOT TO SCALE

TYPICAL OF ALL VIEWS



REGISTERED PROFESSIONAL ENGINEER SEAL

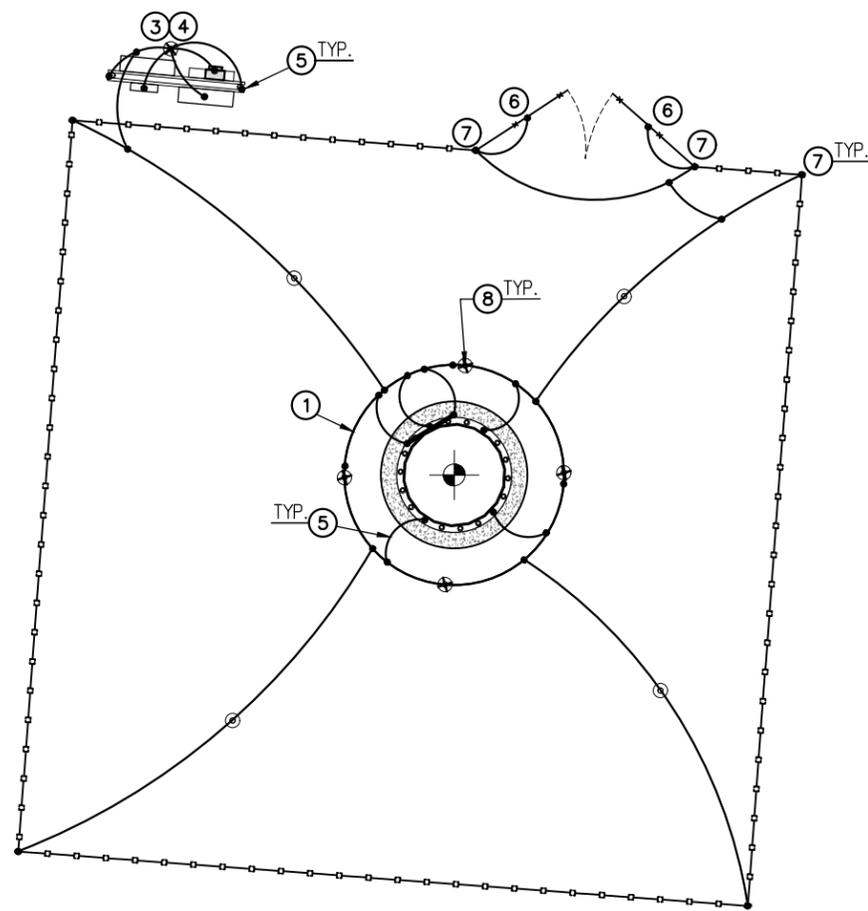
ITEM	REVISIONS	BY	CHK. BY	DATE

**TVT II, LLC**  
 495 TENNESSEE STREET, SUITE 152  
 MEMPHIS, TN 38103  
 PHONE: (901) 794-9494 (EXT. 107)

DRAWN BY: C.E. PERSONS DATE: 11/09/21  
 CHECKED BY: T.L. HARDY DATE: 11/11/21  
 APPROVED BY: DATE:

**HARDY ENGINEERING, INC.**  
 ENGINEERING AND CONSULTING  
 209 LINDEN STREET, P.O. BOX 708  
 TRUSSVILLE, AL 35173  
 PHONE: (205) 655-1427 FAX: (205) 661-9027

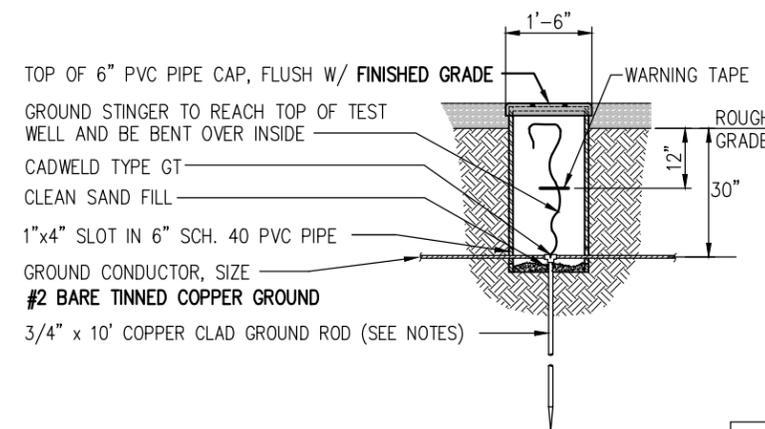
DWG. NAME: **ELECTRICAL DETAILS**  
 SITE: TN1033 - WINSTON DRIVE  
 MEMPHIS, TENNESSEE  
 FOR  
 TVT II, LLC  
 MEMPHIS, TENNESSEE  
 CAD No: TN1033\_E2 SCALE: AS SHOWN DWG. No: E2



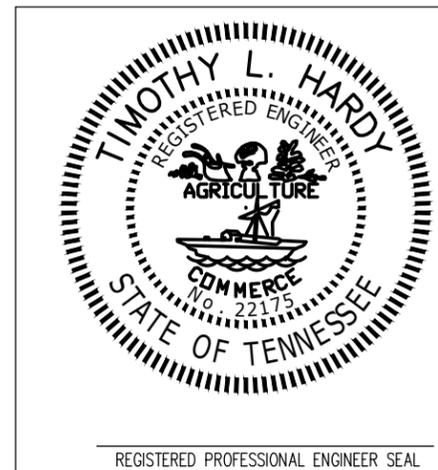
**GROUNDING LAYOUT**  
(SCALE: 1" = 10'-0")

**CALL-OUT NOTES:**

- ① #2 AWG SOLID BARE COPPER TOWER GROUND RING. INSTALL (4) GROUND RODS (MIN.) SPACED EQUALLY. MAINTAIN 2 FT. (MIN.) FROM EDGE OF TOWER FOUNDATION. BOND CORNER FENCE POST (TYP.);
- ② TOWER BOTTOM GROUND BAR. TOWER GROUND BARS SHALL BE COPPER.
- ③ 3/4"Ø x 10 FT. COPPER CLAD GROUND ROD(S) FOR UTILITY SERVICE.
- ④ BOND GPS ANTENNAS, DISCONNECT SWITCH, MISCELLANEOUS METALLIC EQUIPMENT, CONDUITS AND ANY MISCELLANEOUS LIFTING HOOKS TO GROUND RING W/ #2 AWG SOLID BARE TINNED COPPER WIRE.
- ⑤ #2 AWG SOLID BARE TINNED COPPER WIRE FROM ICE-BRIDGE/H-FRAME SUPPORT POST TO TOWER GROUND RING OR EQUIPMENT GROUND RING (TYP.)
- ⑥ #2 WELDING CABLE JUMPER TO GATE PIPE CONNECTOR. GROUNDING CABLE SHALL BE ATTACHED IN A MANNER WERE IT WILL NOT BE SUBJECTED TO STRAIN WHICH MAY CAUSE DAMAGE WHEN GATE IS FULLY OPENED.
- ⑦ #2 AWG SOLID BARE TINNED COPPER WIRE FROM TOWER/EQUIPMENT PAD/PLATFORM GROUND RING TO FENCE POST.
- ⑧ PROVIDE GROUND RING ACCESS POINT FOR FUTURE CARRIERS (CONTRACTOR TO VERIFY W/ CONSTRUCTION MANAGER).



**(GROUND RING ACCESS POINT)**  
VERIFY W/ PROJECT MANAGER  
FOR NUMBER AND LOCATIONS  
**NOT TO SCALE**



REGISTERED PROFESSIONAL ENGINEER SEAL

ITEM	REVISIONS	BY	CHK. BY	DATE

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495 TENNESSEE STREET, SUITE 152  
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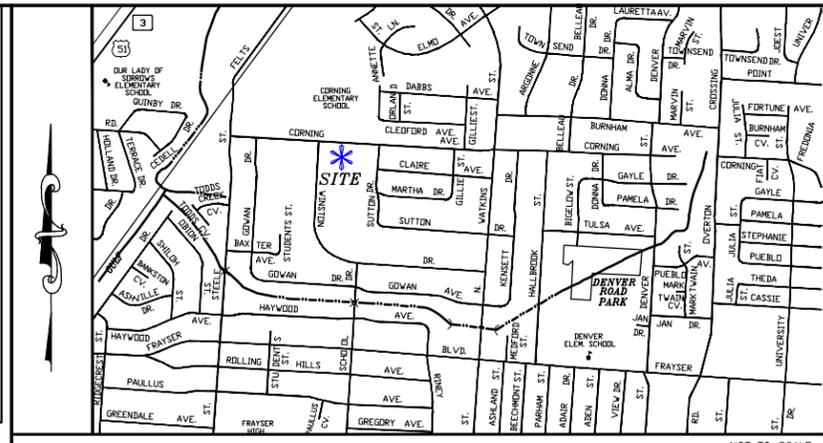
DWG. NAME: **GROUNDING LAYOUT**  
SITE: TN1033 - WINSTON DRIVE  
MEMPHIS, TENNESSEE  
FOR  
TVT II, LLC  
MEMPHIS, TENNESSEE  
CAD No: TN1033\_G1 SCALE: AS SHOWN DWG. No: **G1**



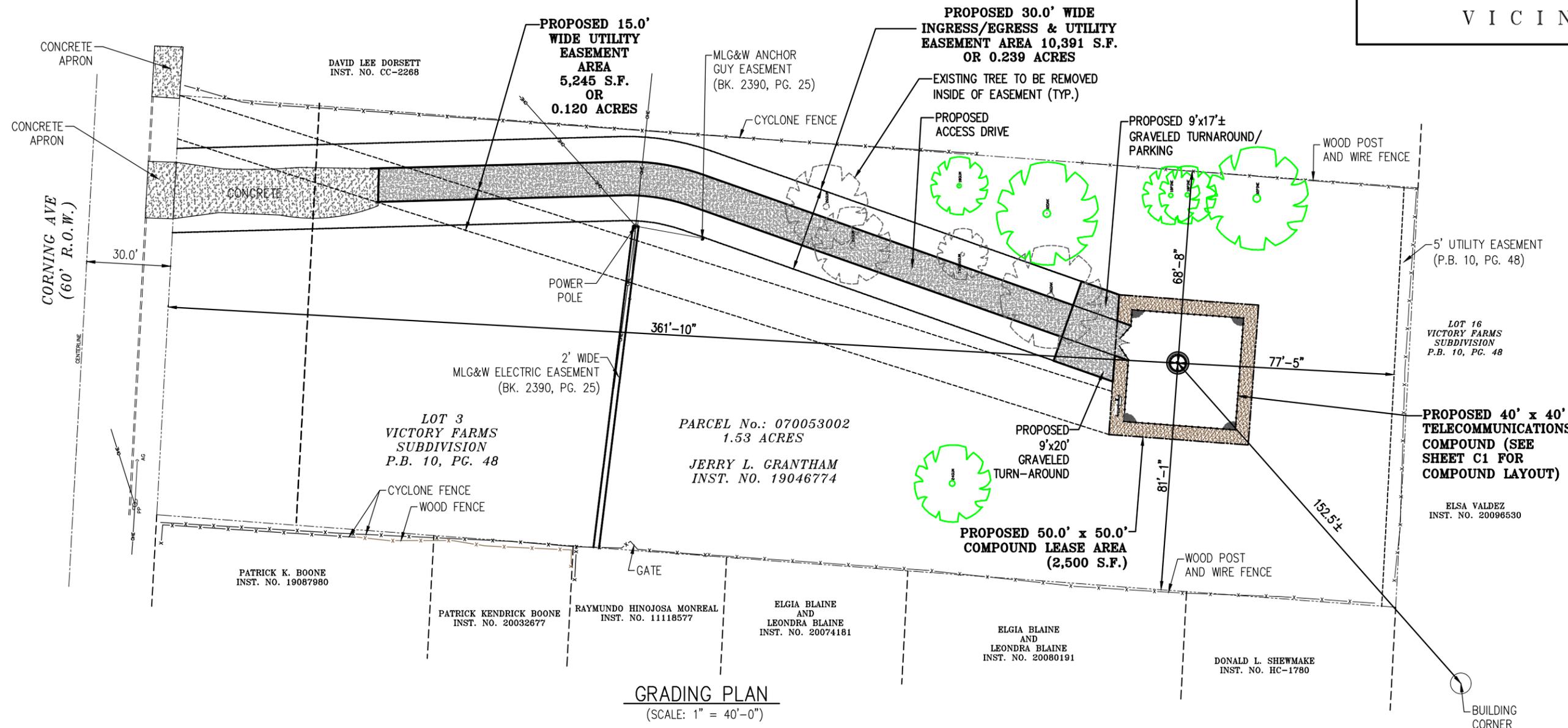


**GRADING NOTES:**

1. THE CONTRACTOR IS TO VERIFY THAT ALL EXISTING TOPOGRAPHY AND HORIZONTAL GEOMETRY IS AS INDICATED ON THESE DRAWINGS. THE CONTRACTOR IS TO ESTABLISH THE EXISTENCE AND LOCATION OF ALL UNDERGROUND AND OVERHEAD UTILITIES AND SERVICES. IMMEDIATELY NOTIFY THE CONSTRUCTION MANAGER OF ANY DISCREPANCIES OR INTERFERENCES WHICH AFFECT THE WORK OF THIS CONTRACT.
2. ALL WORK SHALL BE IN ACCORDANCE WITH GOVERNING AUTHORITIES, CODES, AND REGULATIONS.
3. THE CONTRACTOR IS COMPLETELY RESPONSIBLE FOR CONTAINMENT OF SEDIMENTS AND CONTROL OF EROSION ON SITE. ANY DAMAGE TO ADJACENT OR DOWNSTREAM PROPERTIES WILL BE CORRECTED BY THE CONTRACTOR AT NO EXPENSE TO OWNER.
4. THE CONTRACTOR IS TO MAINTAIN ADEQUATE DRAINAGE AT ALL TIMES. DO NOT ALLOW WATER TO STAND OR POND. ANY DAMAGE TO STRUCTURES OR WORK ON THE SITE CAUSED BY INADEQUATE MAINTENANCE OF DRAINAGE PROVISION WILL BE THE RESPONSIBILITY OF THE CONTRACTOR AND ANY COST ASSOCIATED WITH REPAIRS FOR SUCH DAMAGE WILL BE AT THE CONTRACTOR'S EXPENSE.
5. ALL WASTE MATERIAL SHALL BE PROPERLY DISPOSED OF OFF SITE OR AS DIRECTED BY THE CONSTRUCTION MANAGER AND IN ACCORDANCE WITH JURISDICTIONAL AUTHORITIES.
6. SEED AND MULCH ALL DISTURBED AREAS NOT COVERED BY OTHER MATERIALS AS TO RESTORE DAMAGED PROPERTY BACK TO ORIGINAL CONDITION.
7. THE CONTRACTOR SHALL BE RESPONSIBLE TO CORRECT ALL DAMAGE TO THE SITE SUBSEQUENT TO THE INSTALLATION OF THE POWER AND TELCO LINES.
8. THE CONTRACTOR IS TO REMOVE ALL TREES WITHIN ACCESS EASEMENT AND LEASE AREA.



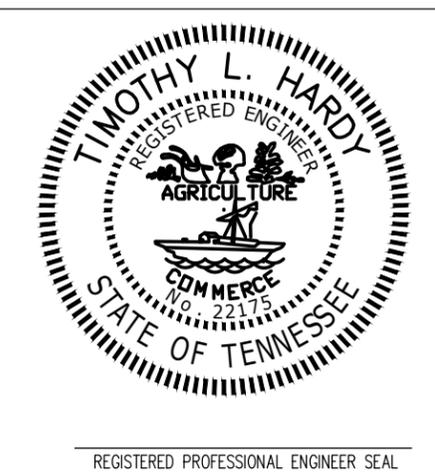
VICINITY MAP



CUT AND FILL SLOPES SHALL NOT EXCEED 2:1

HAY AND SEED ALL DISTURBED AREAS

SET BACKS	
FRONT	15'
REAR	10'
SIDE	15'



<b>PROPOSED 50'x50' GROUND LEASE AREA</b> 2,500 S.F.	<b>PROPOSED 40'x40' FENCED COMPOUND</b> 1,600 S.F.	NOTE: ALL ITEMS ARE EXISTING UNLESS OTHERWISE NOTED
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ITEM	REVISIONS	BY	CHK. BY	DATE

**TVT II, LLC**

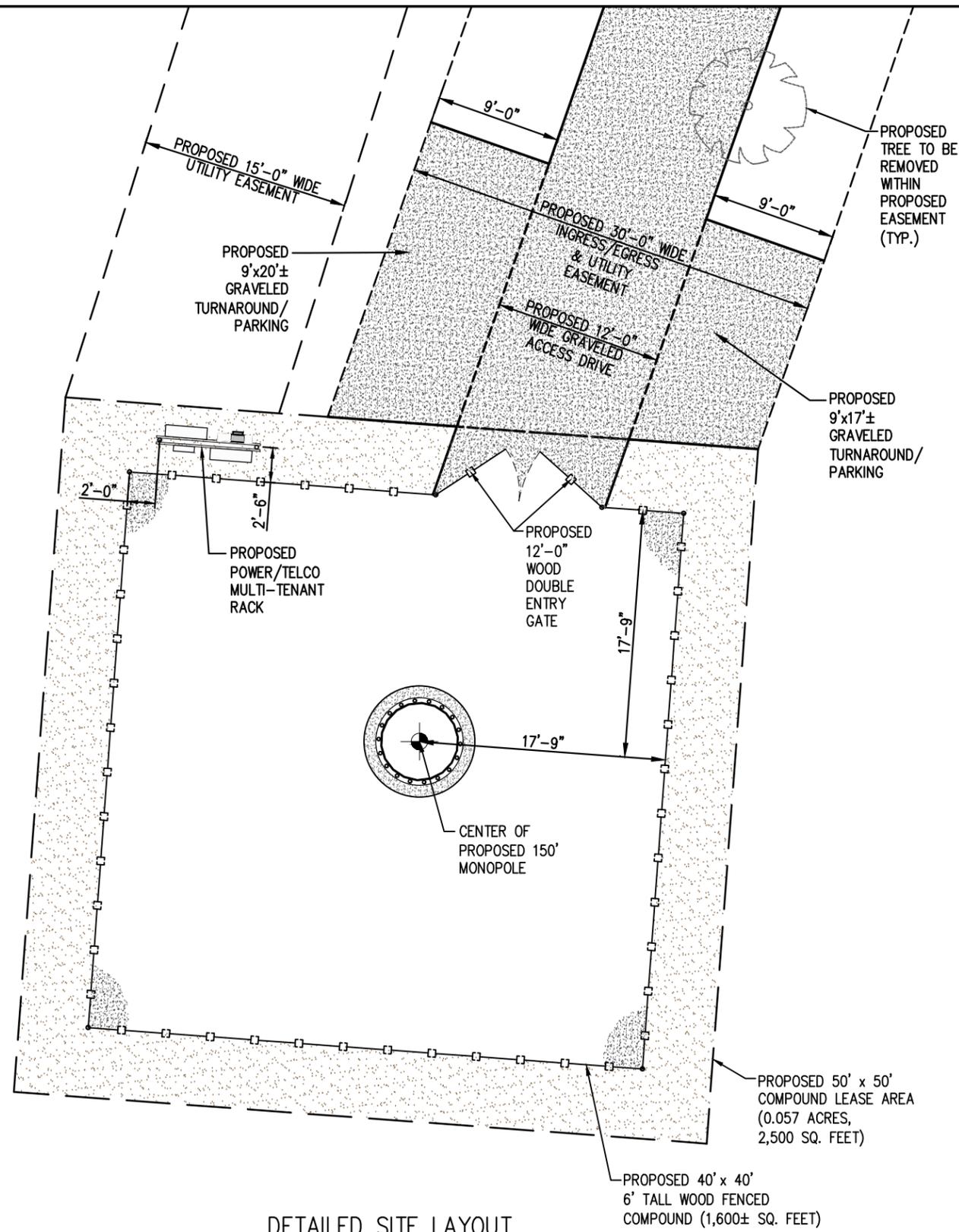
495 TENNESSEE STREET, SUITE 152  
MEMPHIS, TN 38103  
PHONE: (901) 794-9494 (EXT. 107)

DRAWN BY:	C.E. PERSONS	DATE:	11/22/21
CHECKED BY:	T.L. HARDY	DATE:	11/24/21
APPROVED BY:		DATE:	

**HARDY ENGINEERING, INC.**

ENGINEERING AND CONSULTING  
209 LINDEN STREET, P.O. BOX 708  
TRUSSVILLE, AL 35173  
PHONE: (205) 655-1427 FAX: (205) 661-9027

DWG. NAME:	<b>OVERALL SITE LAYOUT</b>
SITE:	TN1033 - WINSTON DRIVE MEMPHIS, TENNESSEE
FOR:	TVT II, LLC MEMPHIS, TENNESSEE
CAD No:	TN1033_CO
SCALE:	AS SHOWN
DWG. No:	<b>CO</b>



**DETAILED SITE LAYOUT**  
 (SCALE: 1" = 10'-0")

**NOTES:**

1. BOUNDARY AND PROPOSED SITE FEATURES ARE BASED ON THE SURVEY. CONTRACTOR SHALL IMMEDIATELY NOTIFY THE ENGINEER OF ANY DISCREPANCIES BETWEEN ACTUAL FIELD CONDITIONS AND THIS DRAWING.
2. CONTRACTOR SHALL FURNISH ALL MATERIALS FOR ELECTRICAL SERVICE AS FOLLOWS:
  - a. 600 AMP INCOMING TO MULTI-TENANT METER CENTER.
3. GROUNDING OF ANTENNAS MOUNTS, COAX, AND EQUIPMENT SHALL BE IN ACCORDANCE WITH VERIZON WIRELESS SPECIFICATIONS.
4. ANY MATERIALS STORED ON SITE SHALL BE STORED IN CLOSED OR COVERED CONTAINERS AND ALL EXCESS WASTE MATERIALS WILL BE PROPERLY DISPOSED OF.
5. ALL HARDWARE TO BE STAINLESS STEEL, **NO PLATED METAL TO BE USED.**
6. CONTRACTOR AND/OR DEVELOPER SHALL BE RESPONSIBLE FOR CONSTRUCTION & MAINTENANCE OF EROSION AND SEDIMENTATION CONTROLS DURING CONSTRUCTION FOR PROTECTION OF ADJACENT PROPERTIES, ROADWAYS, AND WATERWAYS.
7. CONTRACTOR AND/OR DEVELOPER ARE RESPONSIBLE FOR PROVIDING SITE FREE OF DRAINAGE PROBLEMS.
8. CONTRACTOR IS RESPONSIBLE FOR MAINTAINING A PROPER TRAFFIC CONTROL PLAN FOR PUBLIC SAFETY ADJACENT TO CONSTRUCTION SITE. THE TRAFFIC CONTROL PLAN MUST BE IN ACCORDANCE WITH CITY OF MEMPHIS AND SHELBY COUNTY DESIGN STANDARDS AND SPECIFICATIONS.
9. SEEDING & MULCHING OF THE SITE SHALL BE ACCOMPLISHED AS SOON AS POSSIBLE AFTER COMPLETION OF THE SITE DEVELOPMENT. THE CONTRACTOR IS RESPONSIBLE FOR PROVIDING & MAINTAINING AN ADEQUATE COVER OF VEGETATION OVER THE SITE.



REGISTERED PROFESSIONAL ENGINEER SEAL

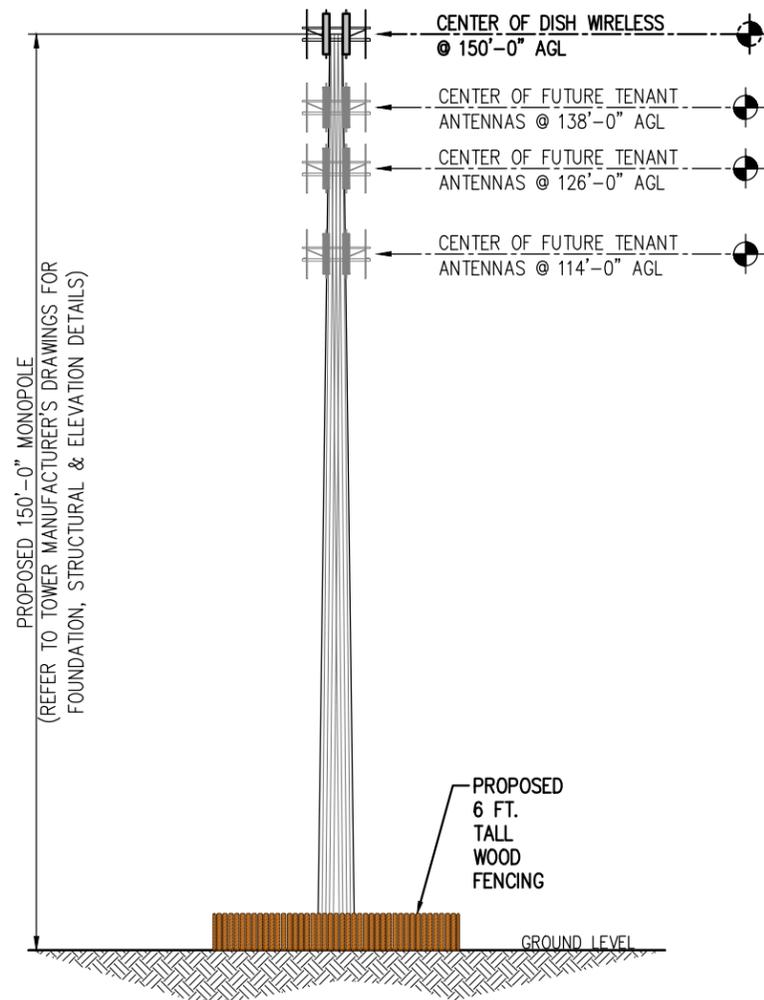
ITEM	REVISIONS	BY	CHK. BY	DATE

**TVT II, LLC**  
 495 TENNESSEE STREET, SUITE 152  
 MEMPHIS, TN 38103  
 PHONE: (901) 794-9494 (EXT. 107)

DRAWN BY:	DATE:
C.E. PERSONS	11/09/21
CHECKED BY:	DATE:
T.L. HARDY	11/11/21
APPROVED BY:	DATE:

**HARDY ENGINEERING, INC.**  
 ENGINEERING AND CONSULTING  
 209 LINDEN STREET, P.O. BOX 708  
 TRUSSVILLE, AL 35173  
 PHONE: (205) 655-1427 FAX: (205) 661-9027

DWG. NAME: <b>DETAILED SITE LAYOUT</b>		
SITE: TN1033 - WINSTON DRIVE MEMPHIS, TENNESSEE FOR TVT II, LLC MEMPHIS, TENNESSEE		
CAD No: TN1033_C1	SCALE: AS SHOWN	DWG. No: <b>C1</b>



**150' MONOPOLE ELEVATION**  
(SCALE: 1" = 30'-0")



REGISTERED PROFESSIONAL ENGINEER SEAL

ITEM	REVISIONS	BY	CHK. BY	DATE

**TVT II, LLC**

---

495 TENNESSEE STREET, SUITE 152  
MEMPHIS, TN 38103  
PHONE: (901) 794-9494 (EXT. 107)

DRAWN BY: C.E. PERSONS      DATE: 11/22/21

CHECKED BY: T.L. HARDY      DATE: 11/24/21

APPROVED BY: \_\_\_\_\_      DATE: \_\_\_\_\_

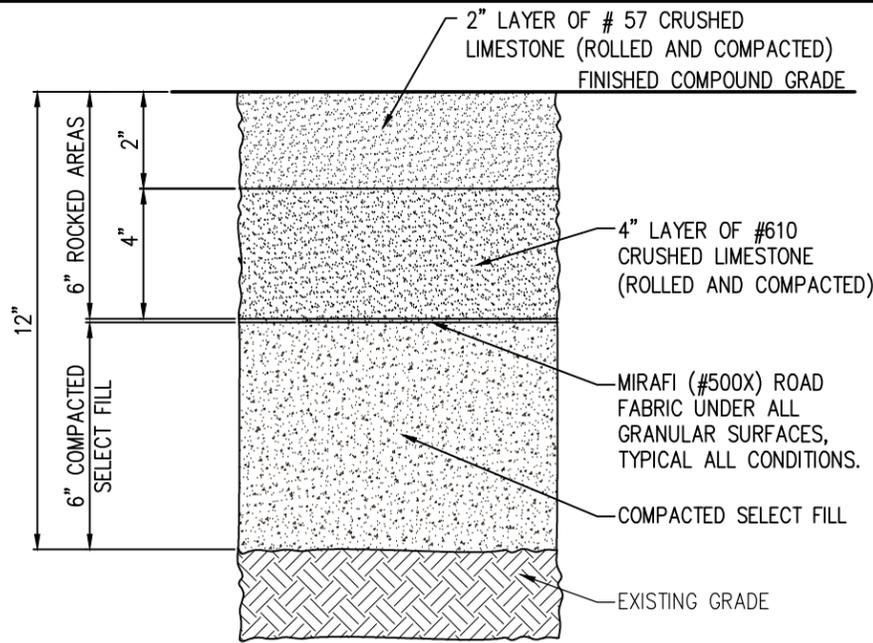
**HARDY ENGINEERING, INC.**

ENGINEERING AND CONSULTING  
209 LINDEN STREET, P.O. BOX 708  
TRUSSVILLE, AL 35173  
PHONE: (205) 655-1427 FAX: (205) 661-9027

DWG. NAME: **TOWER ELEVATION**

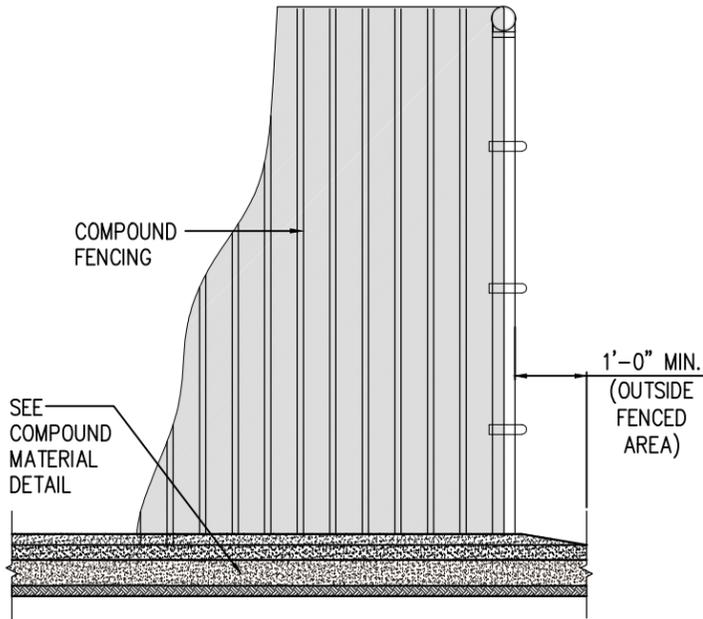
SITE: TN1033 - WINSTON DRIVE  
MEMPHIS, TENNESSEE  
FOR  
TVT II, LLC  
MEMPHIS, TENNESSEE

CAD No: TN1033\_C2      SCALE: AS SHOWN      DWG. No: **C2**



COMPOUND AREA MATERIAL

NOT TO SCALE

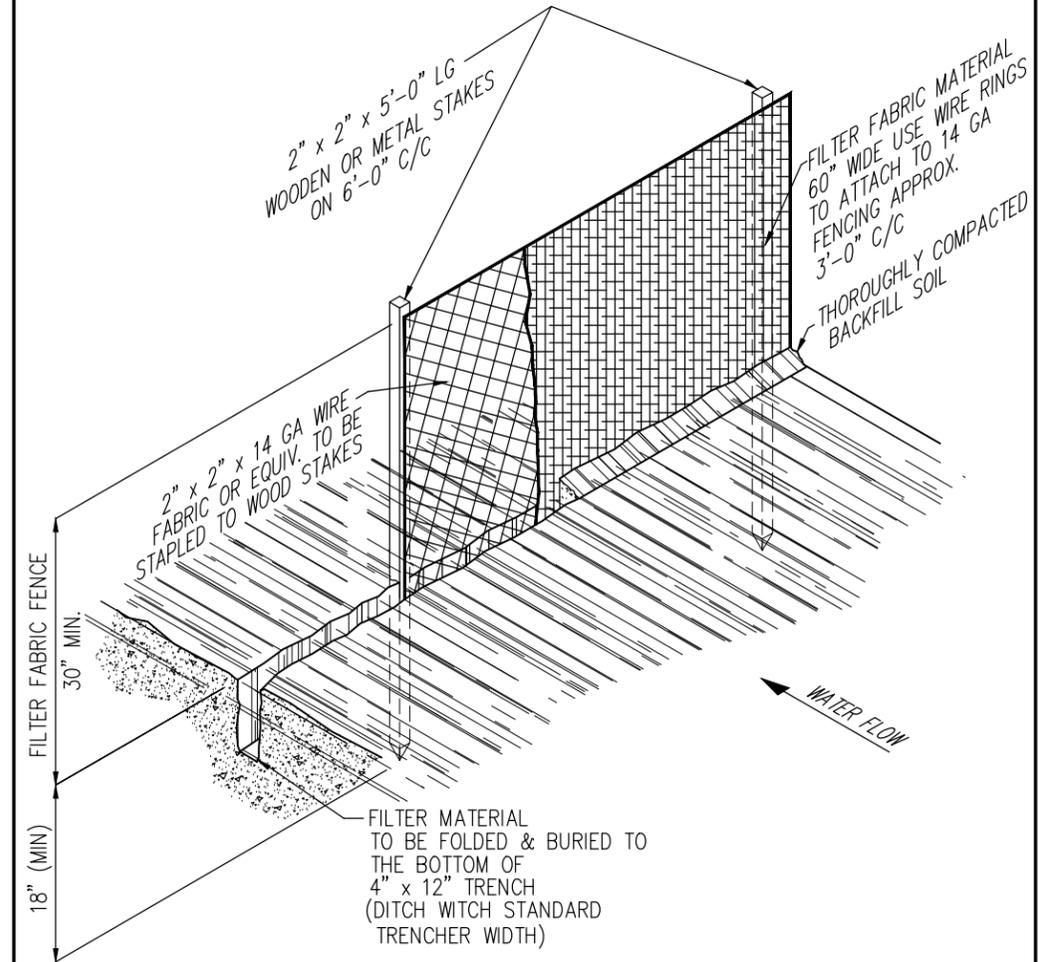


COMPOUND CORNER PROFILE (TYPICAL)

NOT TO SCALE

**COMPOUND MATERIAL NOTES:**

- 1.) ROLL AND COMPACT ALL ROCKED AREAS.
- 2.) SUITABLE FILL MATERIAL SHALL BE COMPACTED IN PLACE AT AN ELEVATION OF 6" ABOVE EXISTING OR SURROUNDING GRADE BEFORE FABRIC AND ROCK IS PUT IN PLACE.

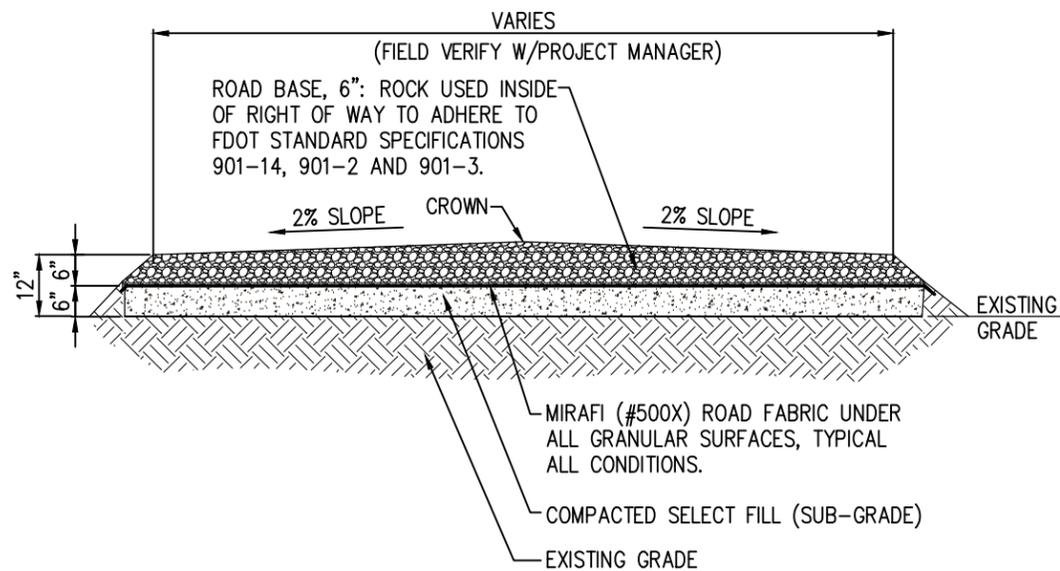


SILT FENCE DETAIL

NOT TO SCALE

**NOTES:**

1. SILT FENCE SHOULD BE INSPECTED AFTER EACH RAINFALL AND SEDIMENT DEPOSITS MUST BE REMOVED WHEN THEY REACH 1/4 THE HEIGHT OF THE FENCE.
2. FABRIC SHALL RETAIN 85% OF SOIL, BASED ON SIEVE ANALYSIS, BUT NOT TO BE FINER THAN OPENING SIZE 70.



GRAVEL TURNAROUND & ACCESS ROAD

NOT TO SCALE

**NOTE:**  
ALL WORK WITHIN THE RIGHT OF WAY (R.O.W.) TO BE DONE BY ALDOT 2013 STANDARDS AND SPECIFICATIONS



REGISTERED PROFESSIONAL ENGINEER SEAL

ITEM	REVISIONS	BY	CHK. BY	DATE

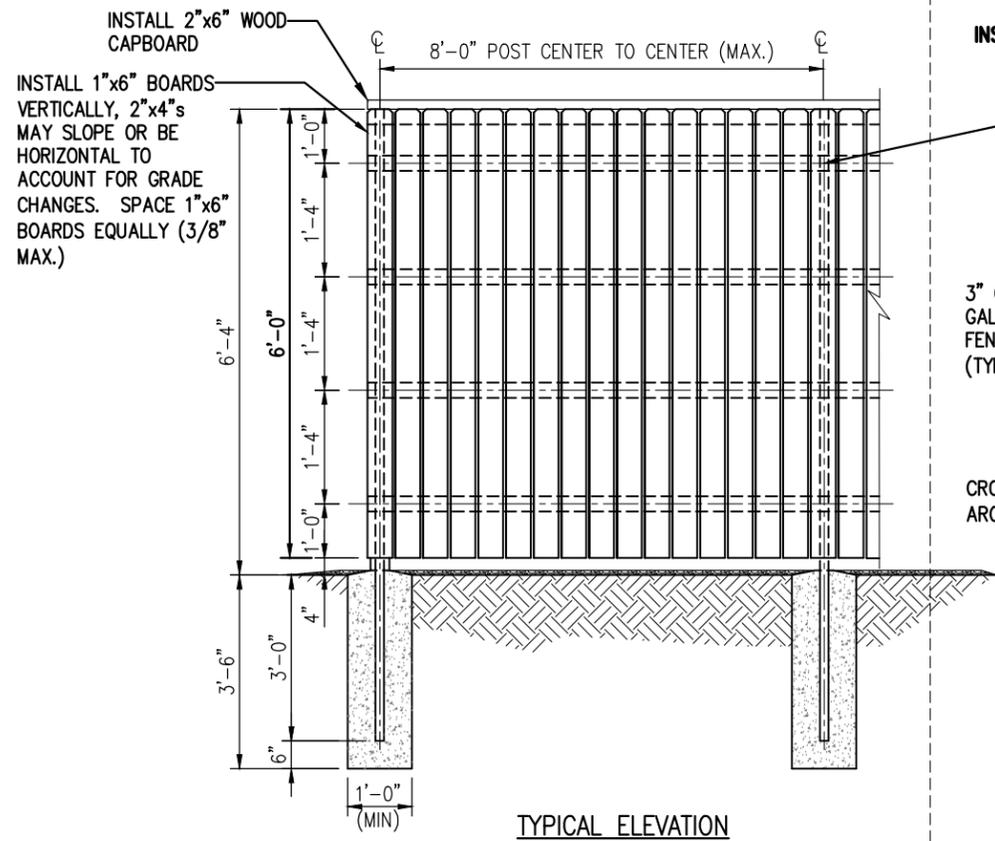
**TVT II, LLC**

495 TENNESSEE STREET, SUITE 152  
MEMPHIS, TN 38103  
PHONE: (901) 794-9494 (EXT. 107)

DRAWN BY:	C.E. PERSONS	DATE:	11/09/21
CHECKED BY:	T.L. HARDY	DATE:	11/11/21
APPROVED BY:		DATE:	

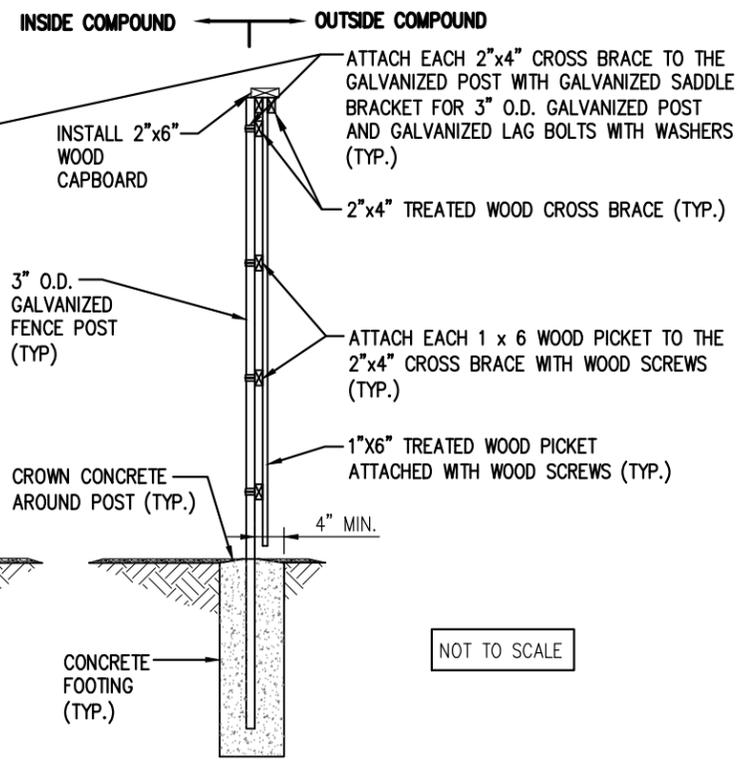
**HARDY ENGINEERING, INC.**  
ENGINEERING AND CONSULTING  
209 LINDEN STREET, P.O. BOX 708  
TRUSSVILLE, AL 35173  
PHONE: (205) 655-1427 FAX: (205) 661-9027

DWG. NAME:	<b>SITE DETAILS</b>		
SITE:	TN1033 - WINSTON DRIVE MEMPHIS, TENNESSEE FOR TVT II, LLC MEMPHIS, TENNESSEE		
CAD No:	TN1033_D1	SCALE:	AS SHOWN
DWG. No.:	<b>D1</b>		



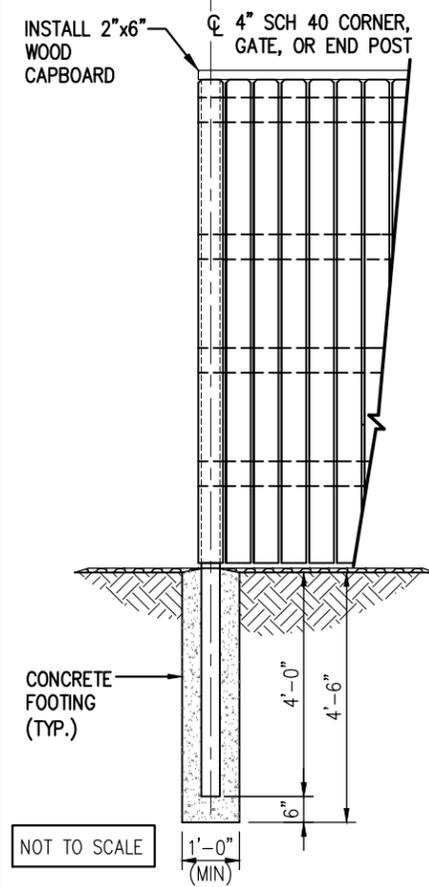
TYPICAL ELEVATION  
OUTSIDE COMPOUND

NOT TO SCALE



TYPICAL WOOD FENCE/STEEL POST

NOT TO SCALE



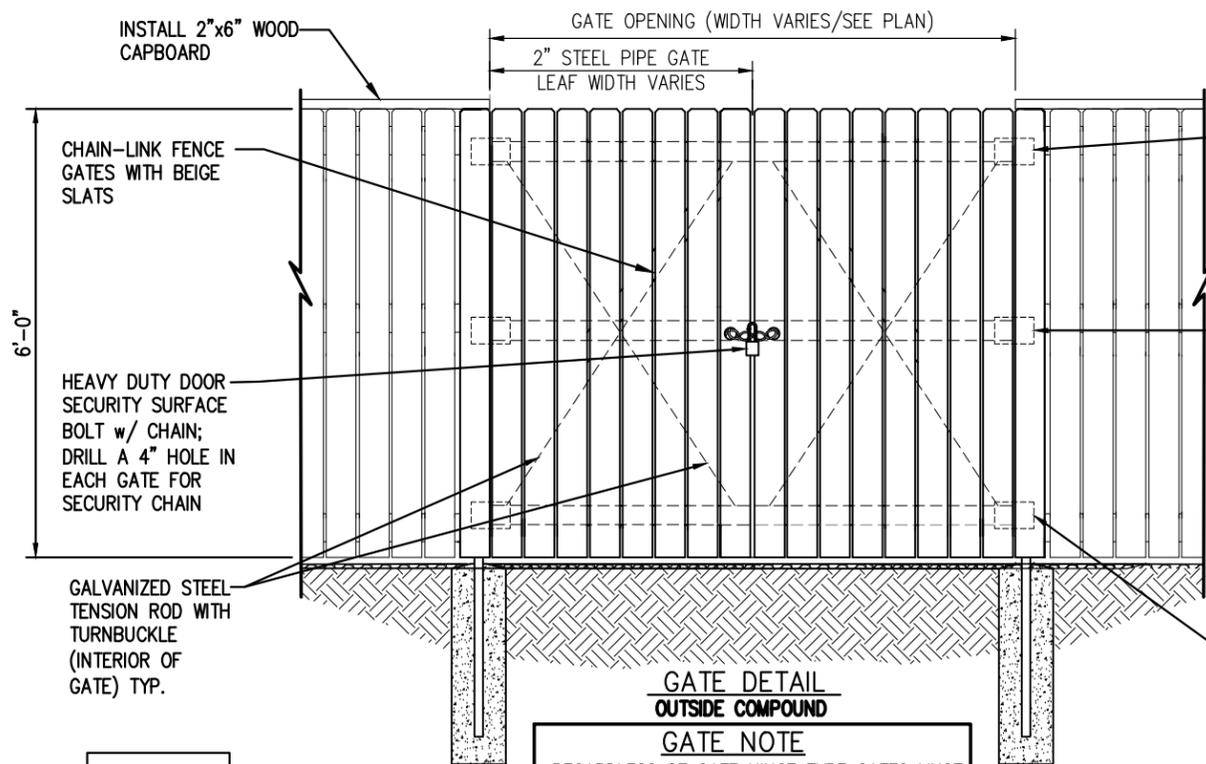
TYPICAL WOOD FENCING/STEEL POST CORNER DETAIL

NOT TO SCALE

TYPICAL WOOD FENCING NOTES

1. FENCE CONSTRUCTION TO BE CONDUCTED IN ACCORDANCE WITH LOCAL DESIGN CODES.
2. ALL WOOD FENCE RAILS TO BE NO. 2 PINE CCA PRESSURE TREATED LUMBER. FENCE TO BE NATURAL BROWN IN COLOR.
3. PICKETS TO BE 7/8" THICK NO. 1 SPRUCE OR CCA PRESSURE TREATED PINE.
4. POSTS TO BE 3" O.D. GALVANIZED STEEL, GATE POST AND CORNER POST TO BE 4" O.D. GALVANIZED STEEL.
5. ALL HARDWARE TO BE HOT DIP GALVANIZED. NO PLATED MATERIAL SHALL BE ALLOWED.
6. ALL BOARDS SHALL BE SCREWED IN WITH WOOD SCREWS TO SECURE WOOD. NAILS ARE NOT PERMITTED.
7. WHERE NEW FENCE POST FOUNDATIONS ARE TO BE INSTALLED OVER OTHER FOUNDATION STRUCTURES, THE FENCE POST AND THE FOUNDATION SHALL BE CAST IN PLACE ON TOP OF EXISTING FOUNDATIONS. MINIMUM FENCE POST FOUNDATION DEPTH SHALL BE 3'-0"

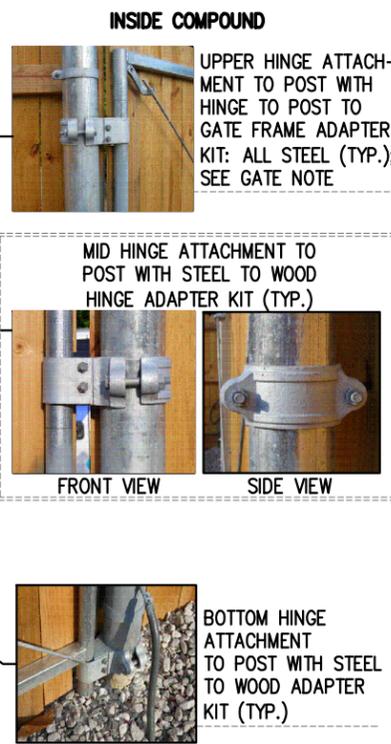
**NOTE:**  
METAL BRACKETS ATTACH TO POST AND WOOD ATTACHES TO BRACKETS. ADAPTER KIT CONSIST OF GALVANIZED BRACKETS, LAG BOLTS AND WASHERS PRE-APPROVED BY TVT II, LLC.



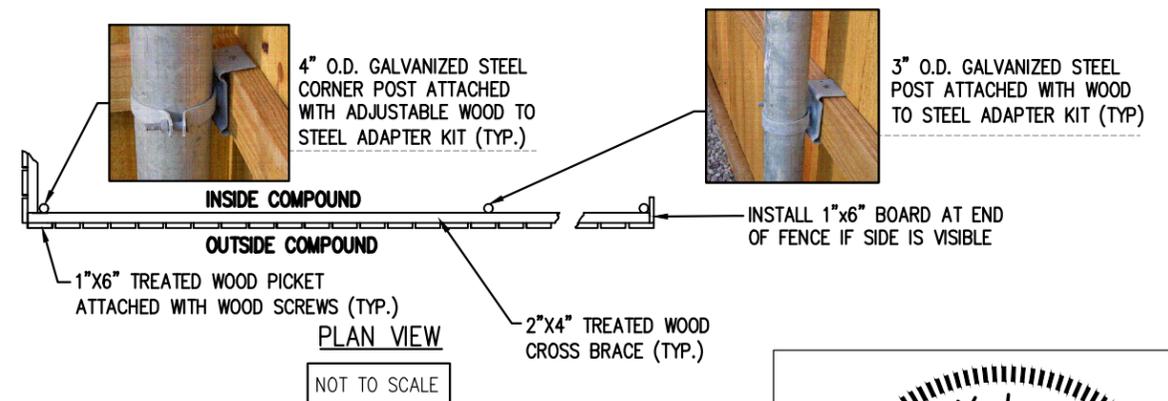
GATE DETAIL  
OUTSIDE COMPOUND  
GATE NOTE

REGARDLESS OF GATE HINGE TYPE GATES MUST OPEN OUT TO NINETY DEGREES (90°) MINIMUM.

NOT TO SCALE



FRONT VIEW SIDE VIEW



PLAN VIEW

NOT TO SCALE



REGISTERED PROFESSIONAL ENGINEER SEAL

ITEM	REVISIONS	BY	CHK. BY	DATE

**TVT II, LLC**

495 TENNESSEE STREET, SUITE 152  
MEMPHIS, TN 38103  
PHONE: (901) 794-9494 (EXT. 107)

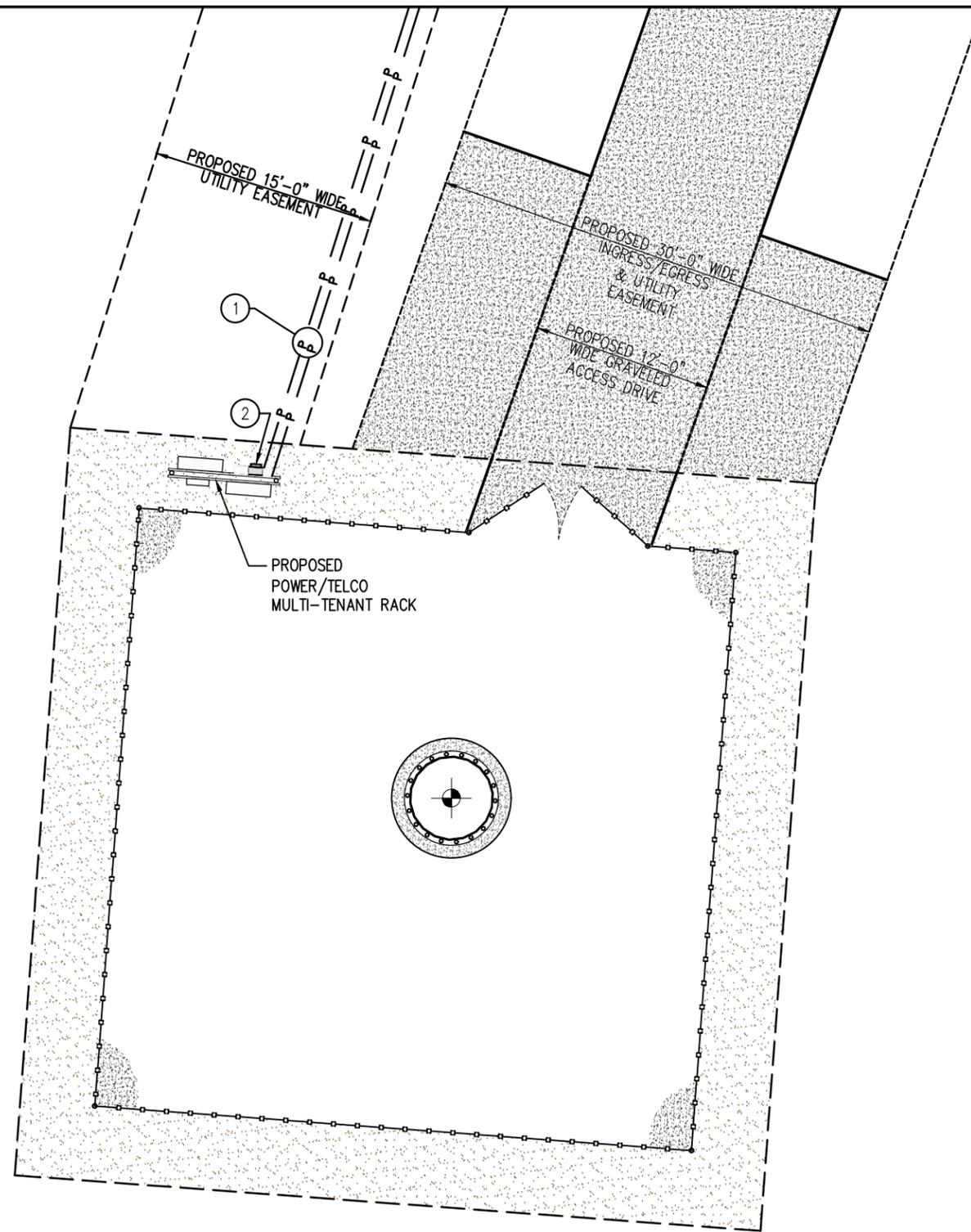
DRAWN BY:	C.E. PERSONS	DATE:	11/22/21
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APPROVED BY:		DATE:	

**HARDY ENGINEERING, INC.**

ENGINEERING AND CONSULTING  
209 LINDEN STREET, P.O. BOX 708  
TRUSSVILLE, AL 35173

PHONE: (205) 655-1427 FAX: (205) 661-9027

DWG. NAME:	<b>COMPOUND FENCING DETAILS</b>		
SITE:	TN1033 - WINSTON DRIVE MEMPHIS, TENNESSEE		
FOR:	TVT II, LLC MEMPHIS, TENNESSEE		
CAD No:	TN1033_D2	SCALE:	AS SHOWN
DWG. No:	D2		



**ELECTRICAL LAYOUT**  
(SCALE: 1" = 10'-0")

**ELECTRICAL NOTES:**

1. BOUNDARY AND PROPOSED SITE FEATURES ARE BASED ON FIELD MEASUREMENTS. CONTRACTOR SHALL IMMEDIATELY NOTIFY THE ENGINEER OF ANY DISCREPANCIES BETWEEN ACTUAL FIELD CONDITIONS AND THIS DRAWING.
2. CONTRACTOR SHALL FURNISH ALL MATERIALS FOR ELECTRICAL SERVICE AS FOLLOWS:
  - a. 600 AMP INCOMING TO MULTI-TENANT METER CENTER.
3. GROUNDING OF ANTENNAS MOUNTS, COAX, AND EQUIPMENT SHALL BE IN ACCORDANCE WITH CLIENT SPECIFICATIONS.
4. ANY MATERIALS STORED ON SITE SHALL BE STORED IN CLOSED OR COVERED CONTAINERS AND ALL EXCESS WASTE MATERIALS WILL BE PROPERLY DISPOSED OF.
5. ALL HARDWARE TO BE STAINLESS STEEL, **NO PLATED METAL TO BE USED.**
6. CONTRACTOR AND/OR DEVELOPER SHALL BE RESPONSIBLE FOR CONSTRUCTION & MAINTENANCE OF EROSION AND SEDIMENTATION CONTROLS DURING CONSTRUCTION FOR PROTECTION OF ADJACENT PROPERTIES, ROADWAYS, AND WATERWAYS.
7. CONTRACTOR AND/OR DEVELOPER ARE RESPONSIBLE FOR PROVIDING SITE FREE OF DRAINAGE PROBLEMS.
8. CONTRACTOR AND/OR DEVELOPER SHALL BE RESPONSIBLE FOR MAINTAINING A PROPER TRAFFIC CONTROL PLAN FOR PUBLIC SAFETY ADJACENT TO CONSTRUCTION SITE. THE TRAFFIC CONTROL PLAN MUST BE IN ACCORDANCE WITH LATEST (AMUTCO) EDITION.

**ELECTRICAL ROUTING NOTES:**

- |   |  |
|---|--|
| ① | (2) 3" (POWER) CONDUITS TO BE RUN UNDERGROUND FROM SERVICE BOARD TO POWER DEMARCATION. |
| ② | INSTALL METER WITH DISCONNECT ON 7' UTILITY H-FRAME.                                   |

SEE SHEET G1 FOR GROUNDING LAYOUT



REGISTERED PROFESSIONAL ENGINEER SEAL

ITEM	REVISIONS	BY	CHK. BY	DATE

**TVT II, LLC**

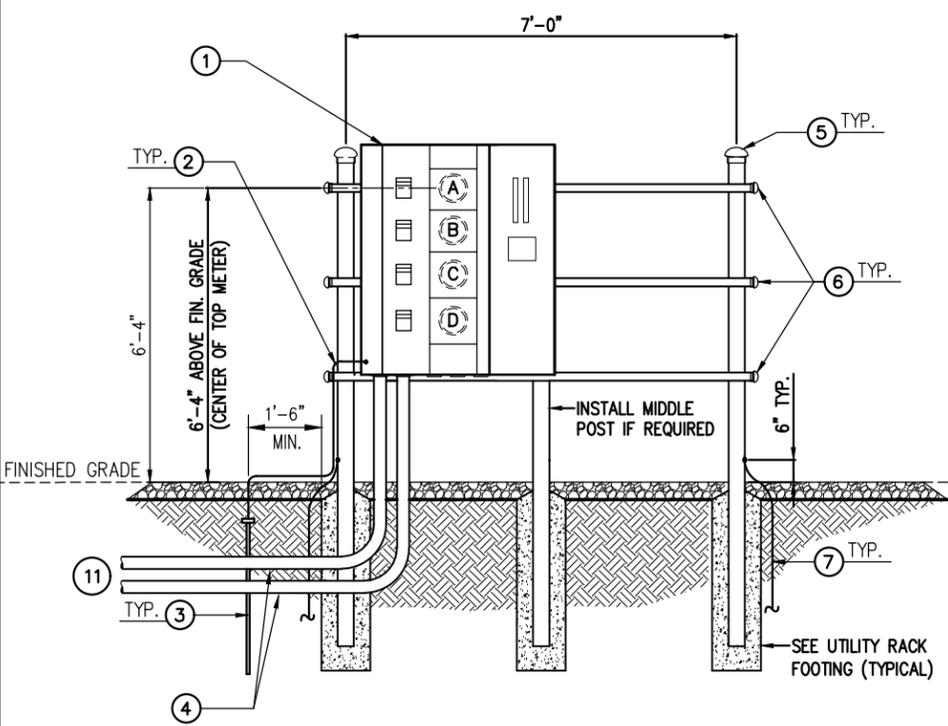
495 TENNESSEE STREET, SUITE 152  
MEMPHIS, TN 38103  
PHONE: (901) 794-9494 (EXT. 107)

DRAWN BY:	C.E. PERSONS	DATE:	11/09/21
CHECKED BY:	T.L. HARDY	DATE:	11/11/21
APPROVED BY:		DATE:	

**HARDY ENGINEERING, INC.**

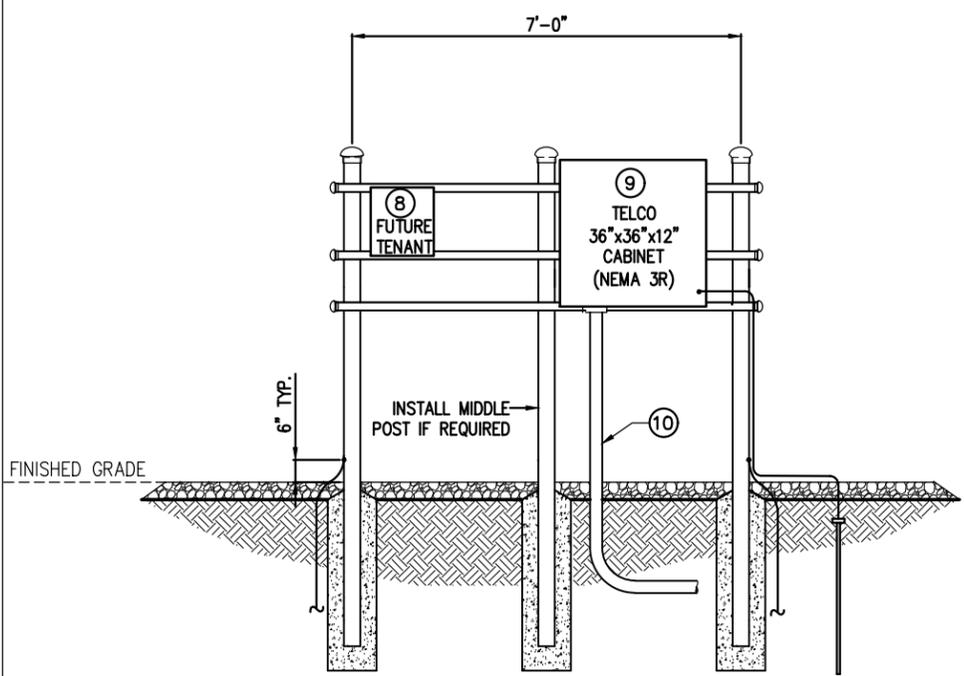
ENGINEERING AND CONSULTING  
209 LINDEN STREET, P.O. BOX 708  
TRUSSVILLE, AL 35173  
PHONE: (205) 655-1427 FAX: (205) 661-9027

DWG. NAME:	<b>ELECTRICAL LAYOUT</b>		
SITE:	TN1033 - WINSTON DRIVE MEMPHIS, TENNESSEE FOR TVT II, LLC MEMPHIS, TENNESSEE		
CAD No:	TN1033_E1	SCALE:	AS SHOWN
DWG. No:	<b>E1</b>		



MULTI-TENANT ELECTRIC UTILITY RACK (FRONT)

NOT TO SCALE

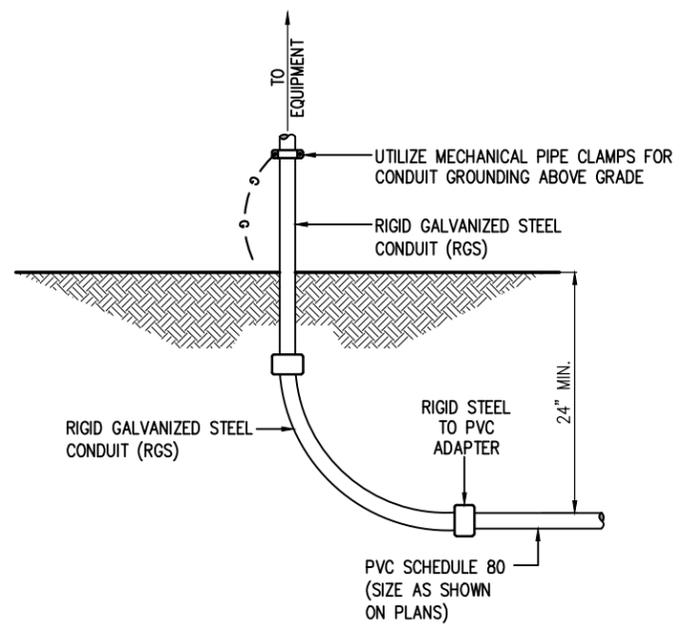


MULTI-TENANT ELECTRIC UTILITY RACK (REAR)

NOT TO SCALE

NOTES:

- 1.) ALL UNDERGROUND CONDUIT EXCEPT RIGID METALLIC SHALL BE SCHEDULE 80.
- 2.) ALL CONDUIT SHALL BE SUPPORTED WITH UNISTRUT AND STRAPS @ UTILITY RACK.



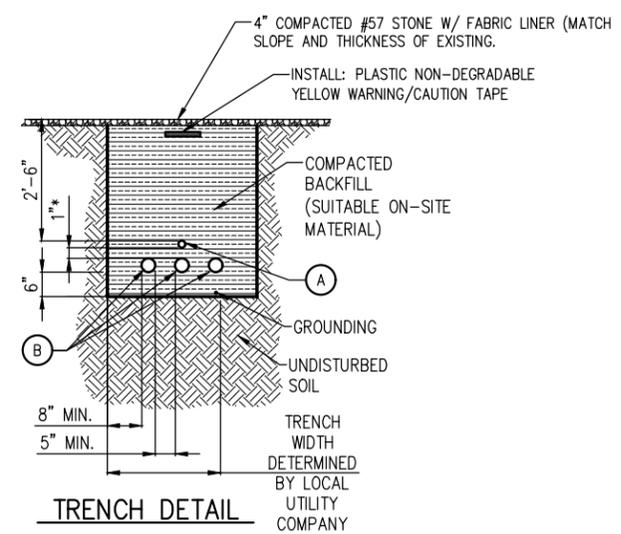
UNDERGROUND CONDUIT STUB-UP DETAIL

NOT TO SCALE

UTILITY RACK & SERVICE POLE LEGEND				
①	4 POSITION METER CENTER (600A/120/240V, 1PH SERVICE)			
②	#2 SOLID BARE TINNED COPPER GROUND WIRE IN 1" CONDUIT BETWEEN ELECTRICAL SERVICE ENTRANCE GROUND ROD AND GROUND LUG IN MULTI-TENANT METER CENTER (SERVICE GROUND)			
③	3/4" x 10'-0" LONG COPPERCLAD ELECTRICAL STEEL SERVICE ENTRANCE GROUND ROD			
④	ELECTRIC SERVICE CONDUCTORS IN (2) 3" CONDUITS TO SERVICE POLE/PAD MOUNTED TRANSFORMER			
⑤	3-1/2" O.D. GALVANIZED STEEL POST AND METAL CAP (TYPICAL)			
⑥	END CAP ALL ENDS. ZINC COATED "UNISTRUT" HOT DIP GALVANIZED, FIELD DRESS RAW ENDS OF CUT UNISTRUT WITH ZINC COATING, EXTEND PAST POST FOR U-BOLT ATTACHMENT (TYPICAL)			
⑦	#2 SOLID BARE TINNED COPPER GROUND WIRE TO TOWER GROUND RING (TYPICAL)			
⑧	FUTURE TENANT TELCO BOX (NEMA 3R)			
⑨	TELCO 36"x36"x12" CABINET (NEMA 3R)			
⑩	4" CONDUIT TO TELCO PEDESTAL/DEMARCATON			
⑪	FINAL CONNECTION BY LOCAL POWER COMPANY			

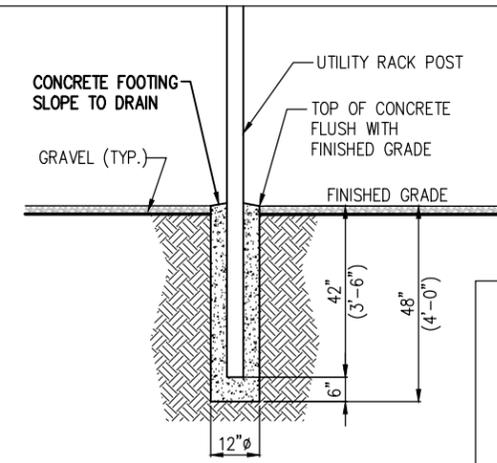
- Ⓐ TELCO CONDUIT
- Ⓑ POWER CONDUITS

\* CONDUIT SIZE, TYPE, QUANTITY AND SEPARATION DIMENSION TO BE DETERMINED BY LOCAL UTILITY COMPANY HAVING JURISDICTION



TRENCH DETAIL

NOT TO SCALE



GROUNDING NOT SHOWN THIS VIEW

UTILITY RACK FOOTING

NOT TO SCALE

TYPICAL OF ALL VIEWS



REGISTERED PROFESSIONAL ENGINEER SEAL

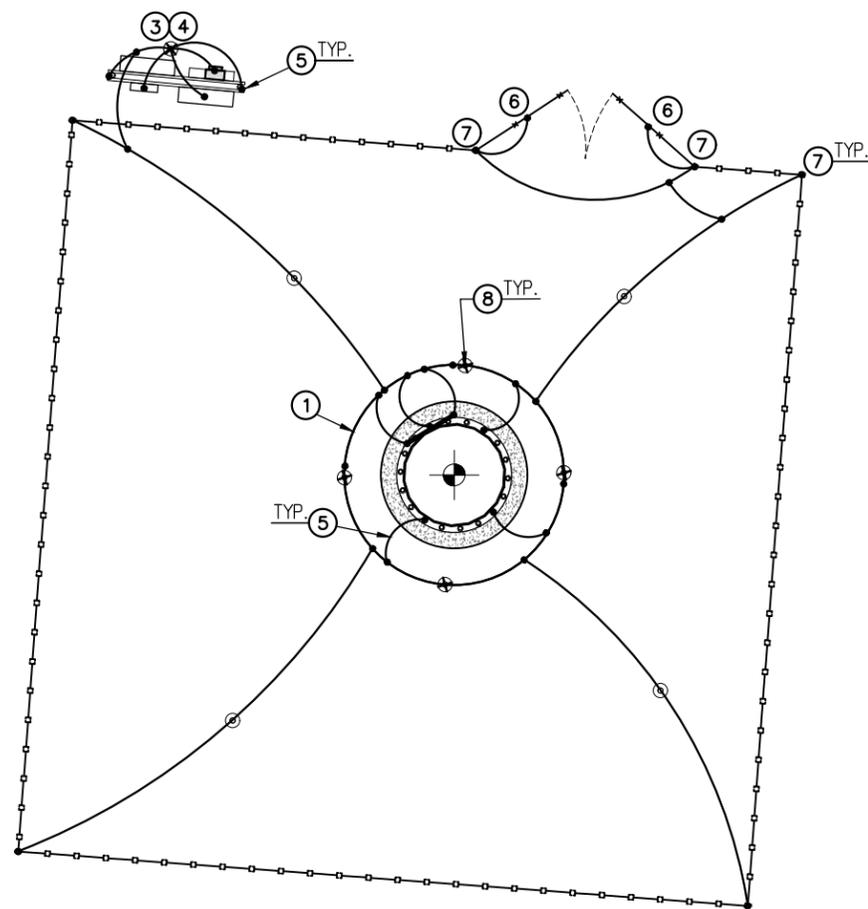
ITEM	REVISIONS	BY	CHK. BY	DATE

**TVT II, LLC**  
 495 TENNESSEE STREET, SUITE 152  
 MEMPHIS, TN 38103  
 PHONE: (901) 794-9494 (EXT. 107)

DRAWN BY: C.E. PERSONS DATE: 11/09/21  
 CHECKED BY: T.L. HARDY DATE: 11/11/21  
 APPROVED BY: DATE:

**HARDY ENGINEERING, INC.**  
 ENGINEERING AND CONSULTING  
 209 LINDEN STREET, P.O. BOX 708  
 TRUSSVILLE, AL 35173  
 PHONE: (205) 655-1427 FAX: (205) 661-9027

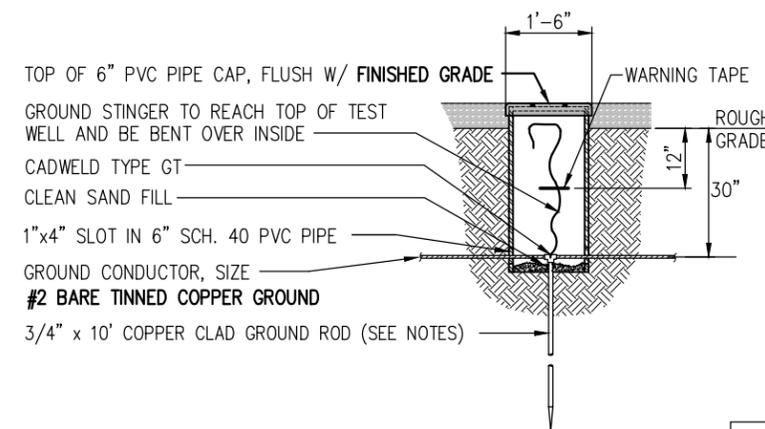
DWG. NAME: **ELECTRICAL DETAILS**  
 SITE: TN1033 - WINSTON DRIVE  
 MEMPHIS, TENNESSEE  
 FOR  
 TVT II, LLC  
 MEMPHIS, TENNESSEE  
 CAD No: TN1033\_E2 SCALE: AS SHOWN DWG. No: E2



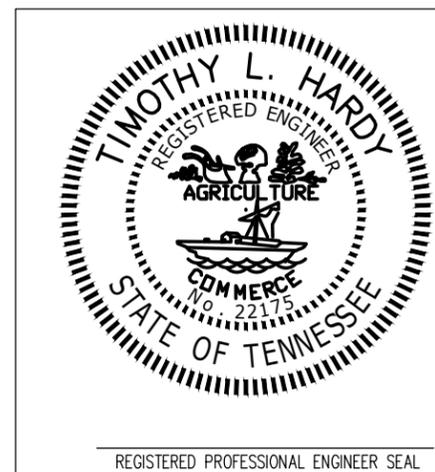
**GROUNDING LAYOUT**  
(SCALE: 1" = 10'-0")

**CALL-OUT NOTES:**

- ① #2 AWG SOLID BARE COPPER TOWER GROUND RING. INSTALL (4) GROUND RODS (MIN.) SPACED EQUALLY. MAINTAIN 2 FT. (MIN.) FROM EDGE OF TOWER FOUNDATION. BOND CORNER FENCE POST (TYP.);
- ② TOWER BOTTOM GROUND BAR. TOWER GROUND BARS SHALL BE COPPER.
- ③ 3/4"Ø x 10 FT. COPPER CLAD GROUND ROD(S) FOR UTILITY SERVICE.
- ④ BOND GPS ANTENNAS, DISCONNECT SWITCH, MISCELLANEOUS METALLIC EQUIPMENT, CONDUITS AND ANY MISCELLANEOUS LIFTING HOOKS TO GROUND RING W/ #2 AWG SOLID BARE TINNED COPPER WIRE.
- ⑤ #2 AWG SOLID BARE TINNED COPPER WIRE FROM ICE-BRIDGE/H-FRAME SUPPORT POST TO TOWER GROUND RING OR EQUIPMENT GROUND RING (TYP.)
- ⑥ #2 WELDING CABLE JUMPER TO GATE PIPE CONNECTOR. GROUNDING CABLE SHALL BE ATTACHED IN A MANNER WERE IT WILL NOT BE SUBJECTED TO STRAIN WHICH MAY CAUSE DAMAGE WHEN GATE IS FULLY OPENED.
- ⑦ #2 AWG SOLID BARE TINNED COPPER WIRE FROM TOWER/EQUIPMENT PAD/PLATFORM GROUND RING TO FENCE POST.
- ⑧ PROVIDE GROUND RING ACCESS POINT FOR FUTURE CARRIERS (CONTRACTOR TO VERIFY W/ CONSTRUCTION MANAGER).



**(GROUND RING ACCESS POINT)**  
VERIFY W/ PROJECT MANAGER  
FOR NUMBER AND LOCATIONS  
**NOT TO SCALE**



REGISTERED PROFESSIONAL ENGINEER SEAL

ITEM	REVISIONS	BY	CHK. BY	DATE

**TVT II, LLC**  
495 TENNESSEE STREET, SUITE 152  
MEMPHIS, TN 38103  
PHONE: (901) 794-9494 (EXT. 107)

DRAWN BY: **C.E. PERSONS** DATE: **11/09/21**  
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APPROVED BY: \_\_\_\_\_ DATE: \_\_\_\_\_

**HARDY ENGINEERING, INC.**  
ENGINEERING AND CONSULTING  
209 LINDEN STREET, P.O. BOX 708  
TRUSSVILLE, AL 35173  
PHONE: (205) 655-1427 FAX: (205) 661-9027

DWG. NAME: **GROUNDING LAYOUT**  
SITE: TN1033 - WINSTON DRIVE  
MEMPHIS, TENNESSEE  
FOR  
TVT II, LLC  
MEMPHIS, TENNESSEE  
CAD No: TN1033\_G1 SCALE: AS SHOWN DWG. No: **G1**



## S.U.P. 2021-036 (CMCS Tower) Corning Ave **NOTICE OF NEIGHBORHOOD MEETING**

Dear Neighbor:

Tower Ventures,(TVT II, LLC) a Memphis based Tower Developer, has filed an application for a Special Use Permit (SUP 2021 -036) with the Office of Planning & Development. We are kindly requesting your presence at a neighborhood meeting to be held on **Monday Evening January 3rd, 2021**, to discuss a proposal to build a CMCS communications (Cell) tower and facilities at 1609 Corning Ave. The proposed CMCS tower will be one-hundred-fifty (150') feet in height. Meeting to be held at Temple of Praise Ministries Church, 1738 Winston Drive.

The proposed tower site is located on a vacant, heavily wooded property, as shown on the attached map. A Public Hearing will be held by the Memphis & Shelby County Land Use Control Board on Thursday, January 13<sup>th</sup>, 2022 @ 09.30 o'clock a.m. **Or you may view via YouTube, <https://www.youtube.com/c/divisionofplanninganddevelopment>**

### **NEIGHBORHOOD MEETING DETAILS:**

**Time:** 5.30 p.m. to 6.30 p.m.

**Date:** Monday Evening **January 3<sup>rd</sup>, 2022**

**Location:** Temple of Praise Ministries, 1738 Winston Drive Memphis, TN 38127

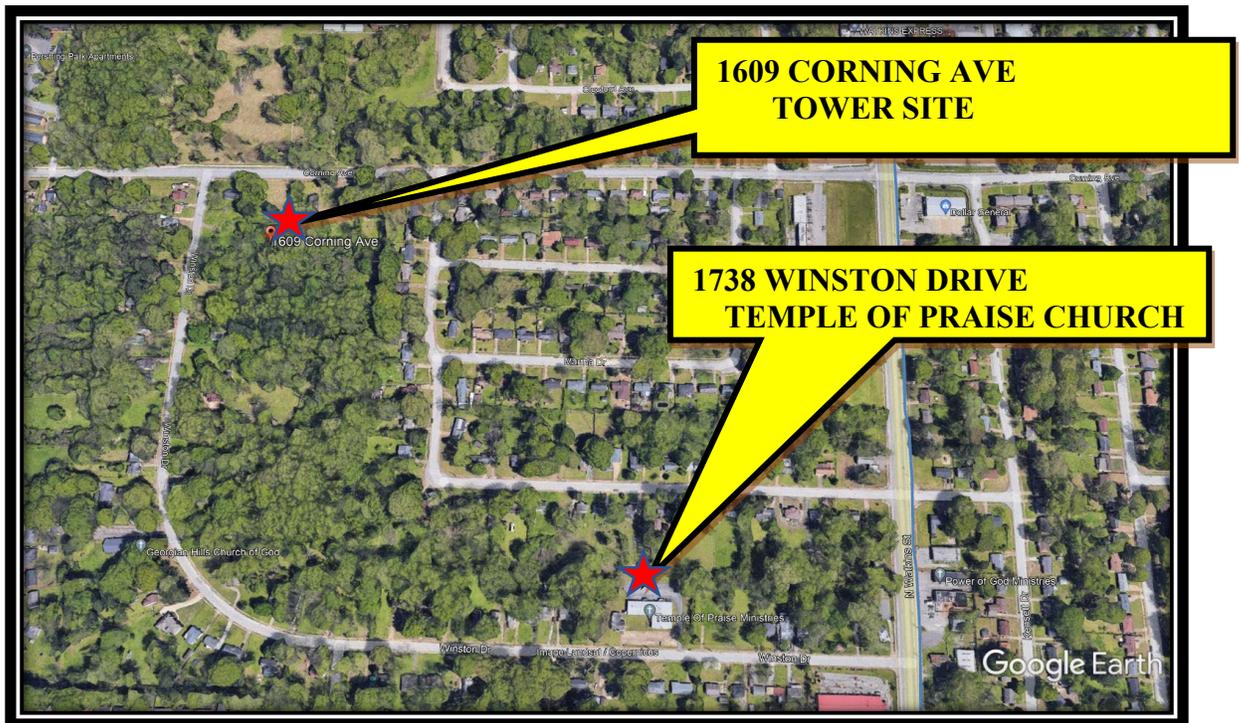
**Tower location and Meeting location shown on Map below:**

**Questions concerning this application may be directed to:**

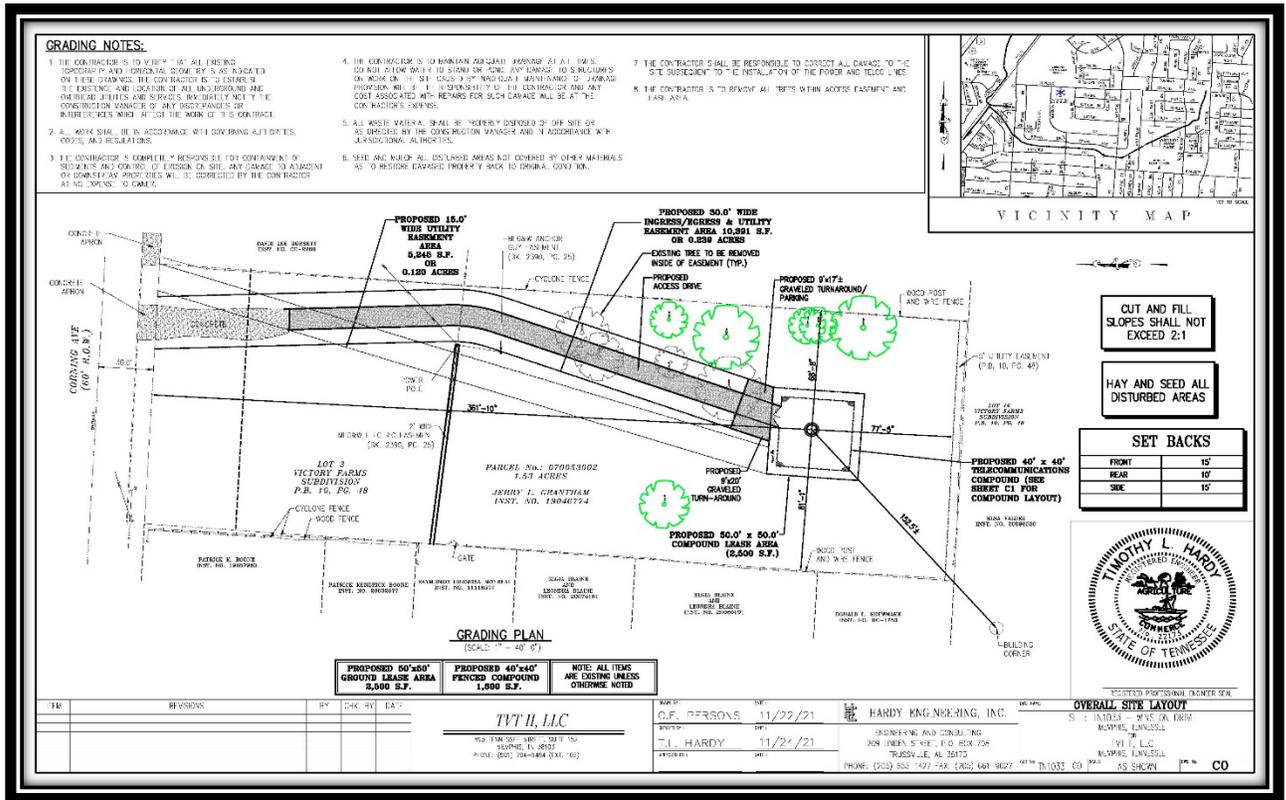
**Lou Katzerman, Tower Ventures @ (901) 244-4017; or**

**Teresa Shelton, Municipal Planner, Office of Planning & Development @ (901) 636-6619**

**Site-Plan and Vicinity Map-Back Page**



# Site Plan



# Vicinity Map

# Vicinity Map



Date: 09/06/21  
Prepared By:  
Property Research Data  
PRD Job #21-076



**MEMPHIS AND  
SHELBY COUNTY** **DIVISION OF PLANNING  
AND DEVELOPMENT**

City Hall – 125 N. Main Street, Suite 468 – Memphis, Tennessee 38103 – (901) 636-6619

## NOTICE OF PUBLIC HEARING

You have received this notice because you own or reside on a property that is near the site of a land use application filed with the Division of Planning and Development. The **MEMPHIS & SHELBY COUNTY LAND USE CONTROL BOARD** will hold a Public Hearing on the following application, pursuant to Sub-Section 9.3.4A of the Memphis & Shelby County Unified Development Code:

**CASE NUMBER:** SUP 21-36

**LOCATION:** 1609 Corning  
(SEE SITE PLAN ON REVERSE SIDE)

**APPLICANT:** TVT II, LLC – Tower Ventures

**REQUEST:** 150 Foot CMCS Tower

**THE PUBLIC MEETING WILL BE HELD:**

**DATE:** Thursday, January 13, 2022

**TIME:** 9:00 AM

**LOCATION:** Council Chambers on the First Floor of City Hall, 125 N. Main Street

**NO EXECUTIVE SESSION WILL BE HELD.**

During the public hearing, the Board may approve or reject this item, or hold the item for a public hearing at a subsequent Board meeting. During the public hearing, the Board may recommend approval or rejection of this item, or hold the item for a public hearing at a subsequent Land Use Control Board meeting. If appealed by the applicant or an adjacent property to the legislative body, the Memphis City Council will make the final decision on this Special Use Permit for a 150-Foot CMCS Tower.

Please note the Board may place this item on the Consent Agenda, which is considered at the beginning of the Board meeting. No individual public hearing will be held, nor will the Board debate items on the Consent Agenda unless a member of the audience, staff or Board requests that the item be removed from the Consent Agenda.

Unless you care to speak for or against this case, it is not necessary for you to attend the hearing. However, you may write or call Teresa Shelton at the address or phone number provided at the top of this notice, or contact by e-mail at [teresa.shelton@memphistn.gov](mailto:teresa.shelton@memphistn.gov) stating the reason(s) for your support or opposition to this request no later than **8:00 AM, Friday, January 7, 2022.**





**MEMPHIS AND  
SHELBY COUNTY** **DIVISION OF PLANNING  
AND DEVELOPMENT**

City Hall – 125 N. Main Street, Suite 468 – Memphis, Tennessee 38103 – (901) 636-6619

January 13, 2022

TVT I, LLC (Tower Ventures)  
495 Tennessee St., Ste. 152  
Memphis, TN

*Sent via electronic mail to: [lou@towerventures.com](mailto:lou@towerventures.com)*

Case Number: SUP 21-36  
LUCB Recommendation: Approval with conditions

Dear applicant,

On Thursday, January 13, 2022, the Memphis and Shelby County Land Use Control Board recommended **approval** of your special use permit application to allow a 150-foot Monopole Communications (CMCS) Tower to located at 1609 Corning Ave., and is subject to the following conditions:

1. The site shall preserve and maintain as much of the existing mature trees as coverage to this location to meet the landscaping requirements.
2. The equipment compound shall be enclosed by a 6-foot wooden privacy around the lease area to conceal the ground equipment. The compound gates will be wooden as well.
3. The maximum tower height shall be one-hundred fifty (150) feet Monopole Communications (CMCS) tower.
4. The tower and related equipment shall be removed within one-hundred eighty (180) days of ceasing operations.
5. The tower shall be constructed within two (2) years of approval by the Memphis City Council. The Land Use Control Board may grant a time extension through the applicant filing a correspondence item application with public notice sent to all property owners within five hundred feet (500') feet of the property.
6. Any interference with Memphis-Shelby County emergency communications by a station using this tower shall be the responsibility of the station and tower owner to remedy.

This application will be forwarded, for final action, to the Council of the City of Memphis. The Council will review your application in a committee meeting prior to voting on it in a public hearing. The applicant or the applicant's representative(s) shall be in attendance at all meetings and hearings.

It is the applicant's responsibility to contact the City Council Records Office to determine when the

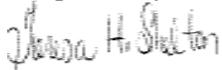
**Letter to Applicant**  
**SUP 21-36**

application is scheduled to be heard at committee and in public session. The City Council Records Office may be reached at (901) 636-6792.

If for some reason you choose to withdraw your application, a letter should be mailed to the Land Use and Development Services Department of the Division of Planning and Development at the address provided above or emailed to the address provided below.

If you have questions regarding this matter, please feel free to contact me at (901) 636-6619 or via email at [teresa.shelton@memphistn.gov](mailto:teresa.shelton@memphistn.gov).

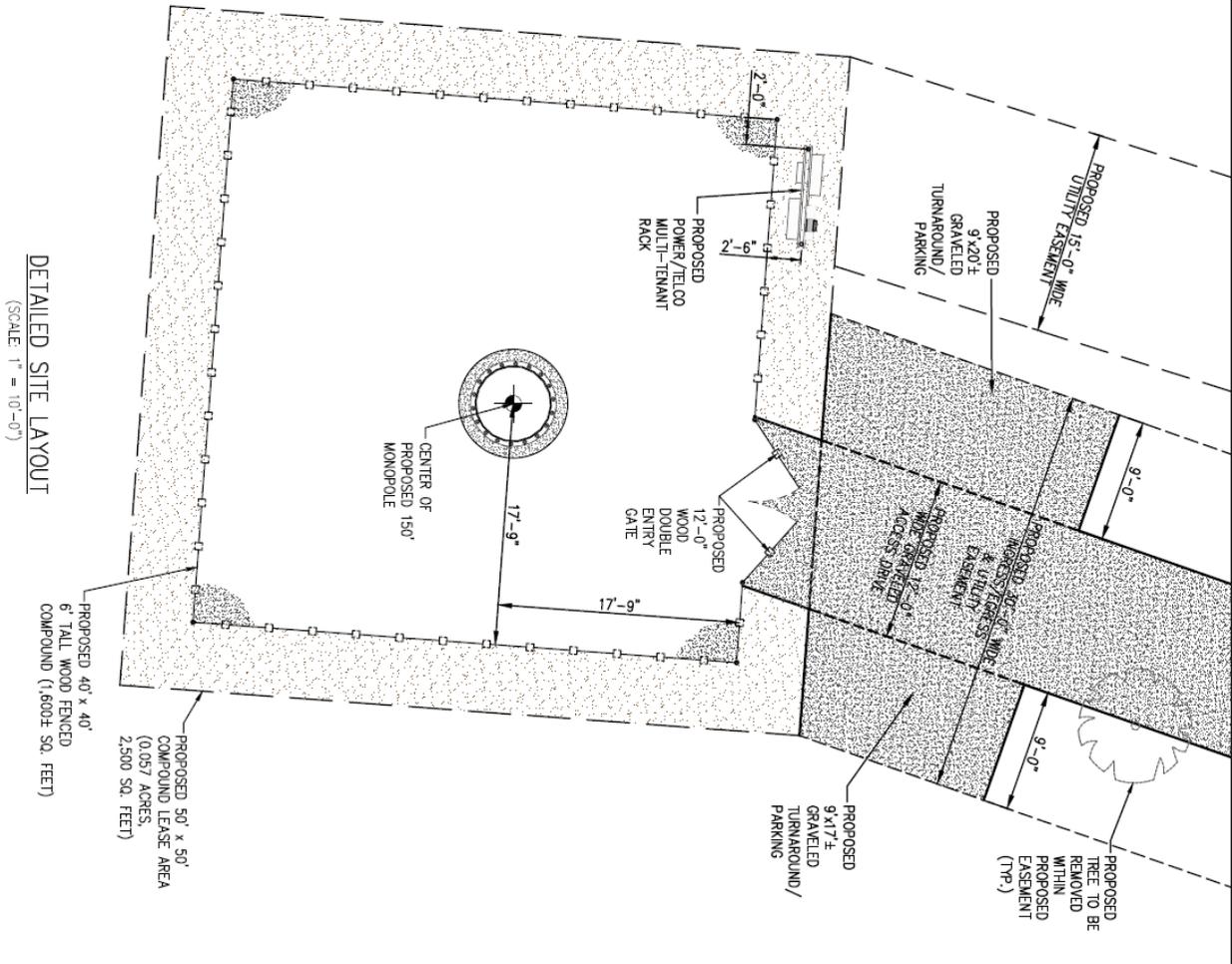
Respectfully,



Teresa H. Shelton  
Municipal Planner  
Land Use and Development Services  
Division of Planning and Development

Cc: Lou Katzerman, Tower Ventures  
File

**Letter to Applicant  
SUP 21-36**



**CITY OF MEMPHIS  
COUNCIL AGENDA CHECK OFF SHEET**

**ONE ORIGINAL  
ONLY STAPLED  
TO DOCUMENTS**

**Planning & Development  
DIVISION**

**Planning & Zoning COMMITTEE: 02/01/2022  
DATE  
PUBLIC SESSION: 02/01/2022  
DATE**

**ITEM (CHECK ONE)**

ORDINANCE       CONDEMNATIONS       GRANT ACCEPTANCE / AMENDMENT  
 RESOLUTION       GRANT APPLICATION       REQUEST FOR PUBLIC HEARING  
 OTHER: \_\_\_\_\_

**ITEM DESCRIPTION:** A resolution approving a hotel  
**CASE NUMBER:** SUP 2021-39  
**DEVELOPMENT:** Union Station  
**LOCATION:** 1925 Union Avenue (South side of Union Avenue, east of Barksdale Street)  
**COUNCIL DISTRICTS:** District 5 and Super District 9 – Positions 1, 2, and 3  
**OWNER/APPLICANT:** Union Station LLC. – Sam Patel  
**REPRESENTATIVE:** Brenda Solomito / Tim Michael  
**EXISTING ZONING:** Commercial Mixed Use – 3 (CMU-3) and Residential Urban – 3 with Historic Overlay (RU-3(H)) with Midtown Overlay  
**REQUEST:** To allow a new five-story hotel  
**AREA:** +/-1.92 acres  
**RECOMMENDATION:** The Division of Planning and Development recommended *Approval with conditions*  
The Land Use Control Board recommended *Approval with conditions*  
**RECOMMENDED COUNCIL ACTION:** **Public Hearing Not Required**

**PRIOR ACTION ON ITEM:**

(1) \_\_\_\_\_ APPROVAL - (1) APPROVED (2) DENIED  
01/13/2022 \_\_\_\_\_ DATE  
(1) Land Use Control Board \_\_\_\_\_ ORGANIZATION - (1) BOARD / COMMISSION  
(2) GOV'T. ENTITY (3) COUNCIL COMMITTEE

**FUNDING:**

(2) \_\_\_\_\_ REQUIRES CITY EXPENDITURE - (1) YES (2) NO  
\$ \_\_\_\_\_ AMOUNT OF EXPENDITURE  
\$ \_\_\_\_\_ REVENUE TO BE RECEIVED

**SOURCE AND AMOUNT OF FUNDS**

\$ \_\_\_\_\_ OPERATING BUDGET  
\$ \_\_\_\_\_ CIP PROJECT # \_\_\_\_\_  
\$ \_\_\_\_\_ FEDERAL/STATE/OTHER

**ADMINISTRATIVE APPROVAL:**

	<u>DATE</u>	<u>POSITION</u>
_____ Lucas Skinner _____	01/18/2022	MUNICIPAL PLANNER
_____	_____	DEPUTY ADMINISTRATOR
_____	_____	ADMINISTRATOR
_____	_____	DIRECTOR (JOINT APPROVAL)
_____	_____	COMPTROLLER
_____	_____	FINANCE DIRECTOR
_____	_____	CITY ATTORNEY
_____	_____	<b>CHIEF ADMINISTRATIVE OFFICER</b>
_____	_____	<b>COMMITTEE CHAIRMAN</b>

**RESOLUTION APPROVING A SPECIAL USE PERMIT AT THE SUBJECT PROPERTY  
LOCATED AT 1925 UNION AVENUE ON THE SOUTH SIDE OF UNION EAST OF  
BARKSDALE STREET, KNOWN AS CASE NUMBER SUP 2021-39.**

---

**WHEREAS**, Chapter 9.6 of the Memphis and Shelby County Unified Development Code, being a section of the Joint Ordinance Resolution No. 5367, dated August 10, 2010, authorizes the Council of the City of Memphis to grant a special use permit for certain stated purposes in the various zoning districts; and

**WHEREAS**, the Union Station LLC filed an application with the Memphis and Shelby County Office of Planning and Development to allow a hotel; and

**WHEREAS**, the Division of Planning and Development has received and reviewed the application in accordance with procedures, objectives, and standards for special use permits as set forth in Chapter 9.6 with regard to the proposed development's impacts upon surrounding properties, availability of public facilities, both external and internal circulation, land use compatibility, and that the design and amenities are consistent with the public interest; and has submitted its findings and recommendation concerning the above considerations to the Land Use Control Board; and

**WHEREAS**, a public hearing in relation thereto was held before the Memphis and Shelby County Land Use Control Board on January 13, 2022, and said Board has submitted its findings and recommendation concerning the above considerations to the Council of the City of Memphis; and

**WHEREAS**, the Council of the City of Memphis has reviewed the aforementioned application pursuant to Tennessee Code Annotated Section 13-4-202(B)(2)(B)(iii) and has determined that said development is consistent with the Memphis 3.0 General Plan; and

**WHEREAS**, the Council of the City of Memphis has reviewed the recommendation of the Land Use Control Board and the report and recommendation of the Division of Planning and Development and has determined that said development meets the objectives, standards and criteria for a special use permit, and said development is consistent with the public interests.

**NOW, THEREFORE, BE IT RESOLVED, BY THE COUNCIL OF THE CITY OF MEMPHIS**, that, pursuant to Chapter 9.6 of the Memphis and Shelby County Unified Development Code, a special use permit is hereby granted for the request use in accordance with the attached conditions.

**BE IT FURTHER RESOLVED**, that this permit merely authorizes the filing of applications to acquire a Certificate of Use and Occupancy, or a Building Permit, and other required permits and approvals, provided that no such Certificate of Use and Occupancy shall be granted until all conditions imposed by the Council of the City of Memphis have been met.

**BE IT FURTHER RESOLVED**, that this Resolution take effect from and after the date it shall have been passed by this Council of the City of Memphis, and become effective as otherwise provided by law, and thereafter shall be treated as in full force and effect by virtue of passage thereof by the Council of the City of Memphis, the public welfare requiring same.

***ATTEST:***

**CC: Division of Planning and Development  
– Land Use and Development Services  
– Office of Construction Enforcement**

## CONDITIONS

1. Parking shall be in accordance with section 4.5.3 of the UDC.
2. The buildings along Union Avenue shall have a minimum of 60% building frontage. This condition shall be massaged as a part of the Administrative Site Plan Review process.
3. Light fixtures installed on the site shall meet the requirements and standards of the Unified Development Code.
4. Lighting for parking shall be arranged/positioned to prevent direct glare onto any residential property.
5. No drive-thru restaurant uses shall be permitted on this site or the adjacent future retail development site to the east without first receiving a recommendation from the Land Use Control Board followed with a final disposition by the City Council.
6. The applicant may need to submit a Trip Generation Report. This proposal shall be subject to the City Engineering Memorandum of Conformance process.
7. The City Engineer shall approve the design, number and location of curb cuts.
8. Any existing nonconforming curb cuts shall be modified to meet current City Standards or closed with curb, gutter and sidewalk.
9. The applicant shall provide a minimum 6-foot sidewalk along Union Avenue.

# SITE PLAN

Only natural flow layout will be used. In general, if the building is a group, it should be set as to be in the relative elevation.

by Landscape Architect prior to construction.

any changes or additions to the site plan must be approved by the Planning Commission and/or City Council, and any changes to the site plan must be approved by the Planning Commission and/or City Council.

any changes to the site plan must be approved by the Planning Commission and/or City Council.

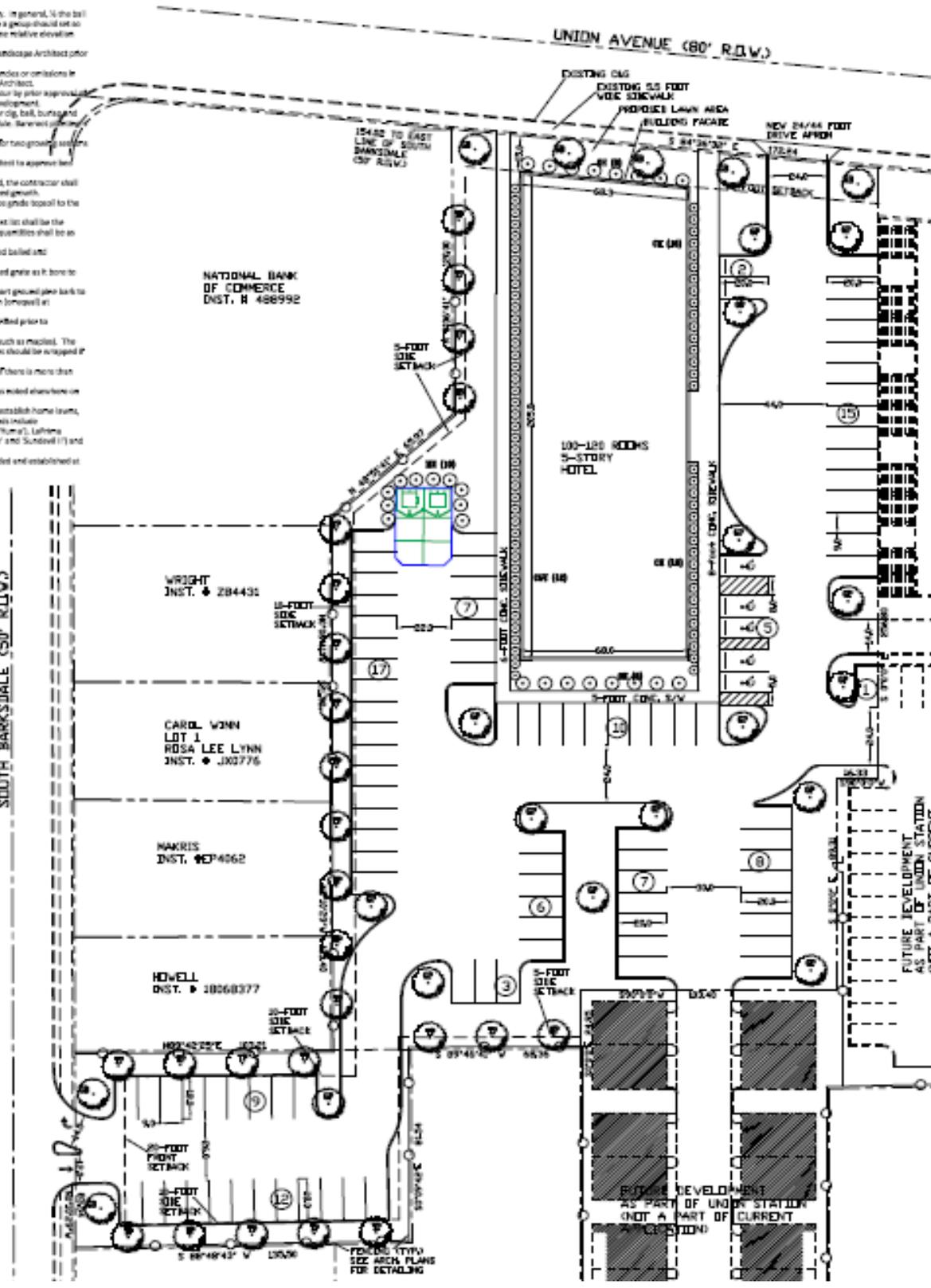
any changes to the site plan must be approved by the Planning Commission and/or City Council.

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NATIONAL BANK OF COMMERCE  
INST. # 488992

WRIGHT  
INST. # 284431

CARDL WANN  
LOT 1  
ROSA LEE LYNN  
INST. # J00776

NAKRIS  
INST. # P4062

HOWELL  
INST. # 10068377

FUTURE DEVELOPMENT  
AS PART OF UNION STATION  
(NOT A PART OF CURRENT  
DEVELOPMENT)

FOR THE CITY OF  
SOUTH BARKSDALE  
FOR DETAILING



## Memphis City Council Summary Sheet

***SUP 2021-39***

Resolution requesting a hotel:

- This item is a resolution with conditions for a special use permit to allow the above; and
- The Division of Planning & Development at the request of the Owner(s)/Applicant(s): Union Station LLC – Sam Patel and Representative(s): Brenda Solomito – Solomito Land Planning; and
- Approval of this special use permit will be reflected on the Memphis and Shelby County Zoning Atlas; and
- The item may require future public improvement contracts.

## **LAND USE CONTROL BOARD RECOMMENDATION**

At its regular meeting on **Thursday, January 13, 2022**, the Memphis and Shelby County Land Use Control Board held a public hearing on the following application:

**CASE NUMBER:** SUP 2021-39

**LOCATION:** 1925 Union Avenue – south side of Union Avenue just east of Barksdale Street

**COUNCIL DISTRICT(S):** District 5 and Super District 9 – Positions 1, 2, and 3

**OWNER/APPLICANT:** Union Station LLC – Sam Patel

**REPRESENTATIVE:** Brenda Solomito – Solomito Land Planning

**REQUEST:** Hotel

**EXISTING ZONING:** Commercial Mixed Use – 3 (CMU-3) and Residential Urban – 3 with Historic Overlay (RU-3(H)) with Midtown Overlay

**AREA:** +/-1.92 acres

---

**The following spoke in support of the application:** None

**The following spoke in opposition the application:** None

The Land Use Control Board reviewed the application and the staff report. A motion was made and seconded to recommend approval with conditions.

**The motion passed by a vote of 9-0 on the consent agenda.**

Respectfully,



Lucas Skinner  
Municipal Planner  
Land Use and Development Services  
Division of Planning and Development

Cc: Committee Members  
File

**SUP 2021-39**  
**CONDITIONS**

1. Parking shall be in accordance with section 4.5.3 of the UDC.
2. The buildings along Union Avenue shall have a minimum of 60% building frontage. This condition shall be massaged as a part of the Administrative Site Plan Review process.
3. Light fixtures installed on the site shall meet the requirements and standards of the Unified Development Code.
4. Lighting for parking shall be arranged/positioned to prevent direct glare onto any residential property.
5. No drive-thru restaurant uses shall be permitted on this site or the adjacent future retail development site to the east without first receiving a recommendation from the Land Use Control Board followed with a final disposition by the City Council.
6. The applicant may need to submit a Trip Generation Report. This proposal shall be subject to the City Engineering Memorandum of Conformance process.
7. The City Engineer shall approve the design, number and location of curb cuts.
8. Any existing nonconforming curb cuts shall be modified to meet current City Standards or closed with curb, gutter and sidewalk.
9. The applicant shall provide a minimum 6-foot sidewalk along Union Avenue.



**AGENDA ITEM:** 15

**CASE NUMBER:** SUP 2021-39 **L.U.C.B. MEETING:** January 13, 2022

**LOCATION:** 1925 Union Avenue

**COUNCIL DISTRICT:** District 5 and Super District 9 – Positions 1, 2, and 3

**OWNER/APPLICANT:** Union Station, LLC

**REPRESENTATIVE:** Tim Michael – Design Shop Architects

**REQUEST:** Hotel on the south side of Union east of Barksdale Street

**AREA:** +/-1.92 acres (3.66 acres for the entire site)

**EXISTING ZONING:** Commercial Mixed Use – 3 (CMU-3) and Residential Urban – 3 with Historic Overlay (RU-3(H)) with Midtown Overlay

## CONCLUSIONS

1. The applicant is seeking to put a hotel located at 1925 Union Avenue, the former location of a police station and Hutchison School before that.
2. The hotel is to be 5 stories and have approximately 100-120 hotel rooms.
3. Union Avenue is one of the cities' most traveled streets and an important connection from our downtown core, through midtown, to east Memphis. It has been in transition over the past decade, with a blend of more auto-centric to more pedestrian oriented designs, as with the nearby Citizen, Kroger, Renasant Bank, etc. This will soon be accelerated with the implementation of the city's new Transit Oriented Development (TOD) plan (<https://www.memphis3point0.com/innovation-corridor>) that will include adding frontage designations along Union. These frontage designations will begin to pull buildings closer to the street, increase transparency and decrease the vast parking lots that are currently between the building and sidewalk. The current site plan only shows approximately 40% frontage along Union. The new frontages, when adopted, will require between 60% and 80% frontage. Since this site would be the first major development along Union since the adoption and introduction of the TOD plan, staff believes that the 60% frontage would help set the tone as Union revitalizes with the new plan and future frontage designations in mind.
4. Increasing the building's frontage along Union from 40% to 60% will not require a change to the current site design for the drives, parking, sidewalks, etc.
5. Moreover, the overall site plan looks to meet the regulations of the UDC with parking, height, setbacks, landscaping, among other aspects. However, with potential frontage design changes, staff feels that the site shall be subject to the Administrative Site Plan Review process prior to a building permit being issued. This will help to ensure conformance with UDC regulations and conditions of approval below.
6. More conclusions can be found on page 25 of this report.

## RECOMMENDATION

*Approval with conditions*

**GENERAL INFORMATION**

**Street Frontage:** Union Avenue +/-334.9 linear feet  
S Barksdale Street +/-81.8 linear feet

**Zoning Atlas Page:** 2030 and 2035

**Parcel ID:** 016052 00028, 016052 00029, and 016052 00022

**Existing Zoning:** Commercial Mixed Use – 3 (CMU-3) and Residential Urban – 3 with Historic Overlay (RU-3(H)) with Midtown Overlay

**NEIGHBORHOOD MEETING**

The meeting was held at 6:00 PM on Wednesday, December 29, 2021, telephonically via Zoom.

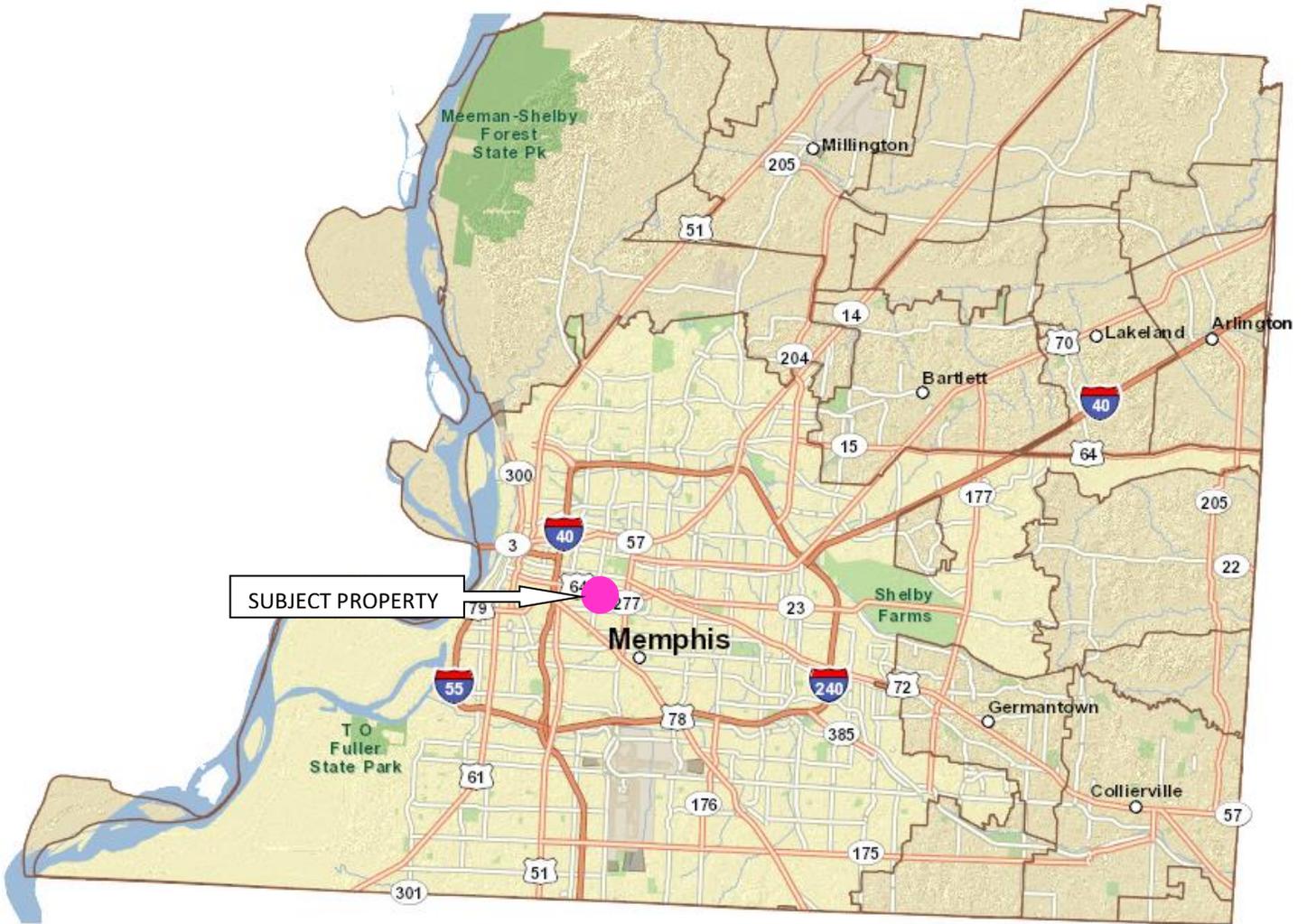
**PUBLIC NOTICE**

In accordance with Sub-Section 9.3.4A of the Unified Development Code, a notice of public hearing is required to be mailed and signs posted. A total of 155 notices were mailed on December 22, 2021, and a total of 1 sign posted at the subject property. The sign affidavit has been added to this report.

**CONSISTENCY WITH MEMPHIS 3.0**

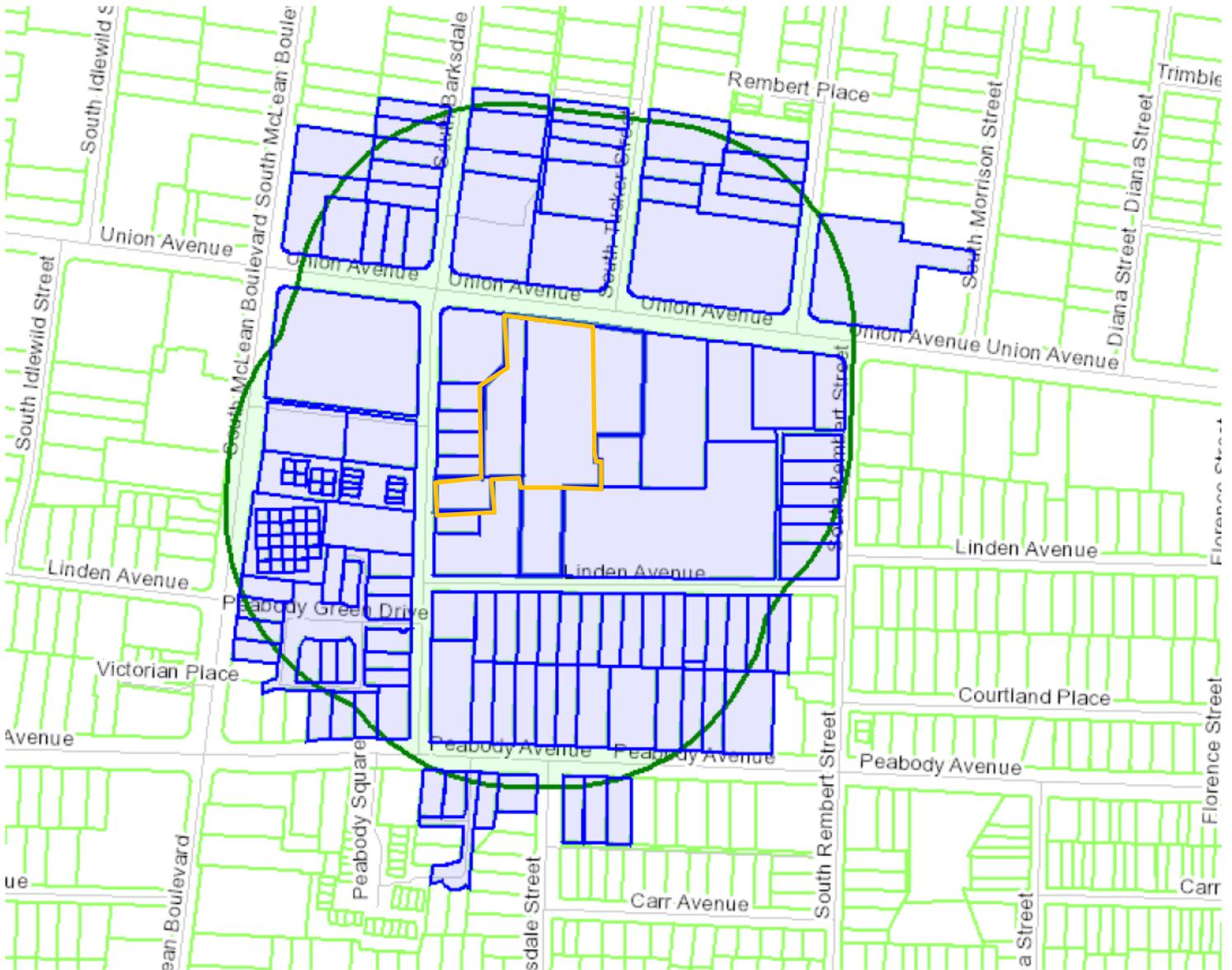
This proposal is consistent with the Memphis 3.0 General Plan per the land use decision criteria. See further analysis on pages 22-24 of this report.

**LOCATION MAP**



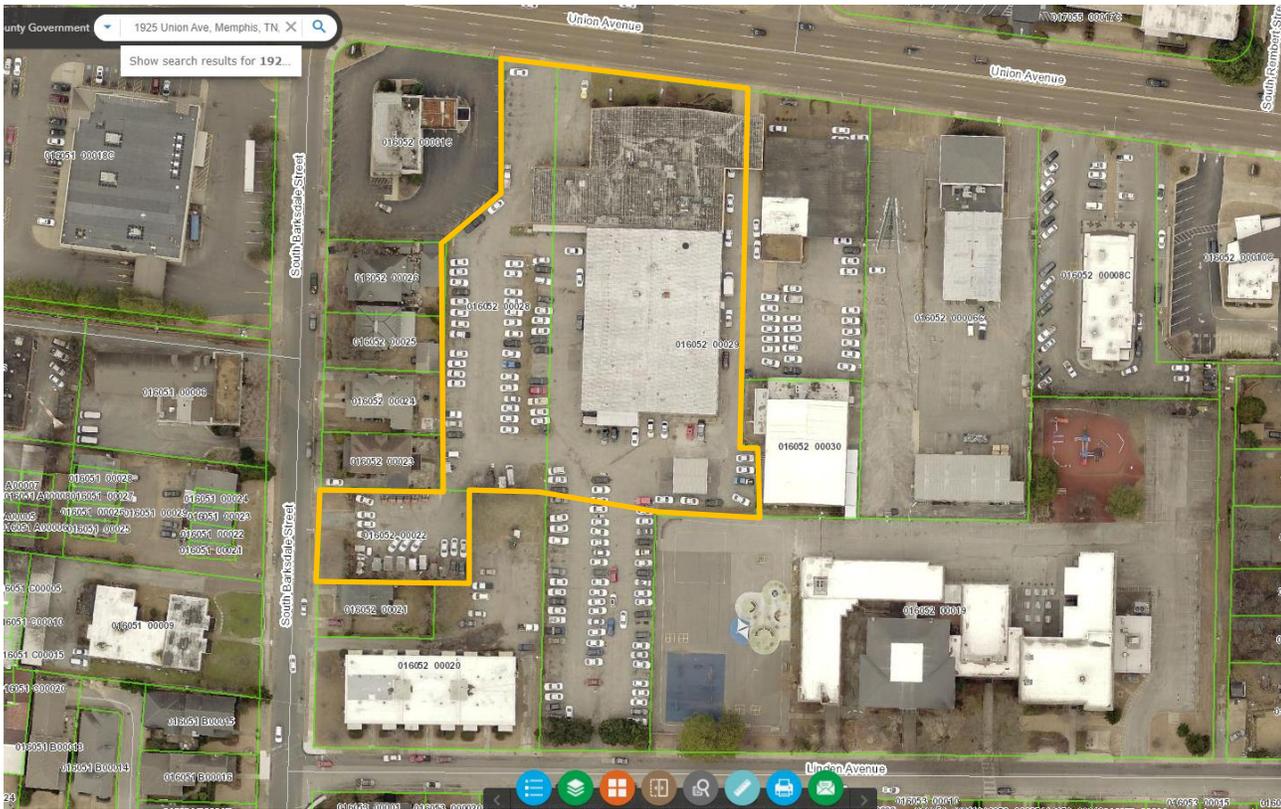
Subject property located within the pink circle, Midtown neighborhood

**VICINITY MAP**



Site highlighted in yellow

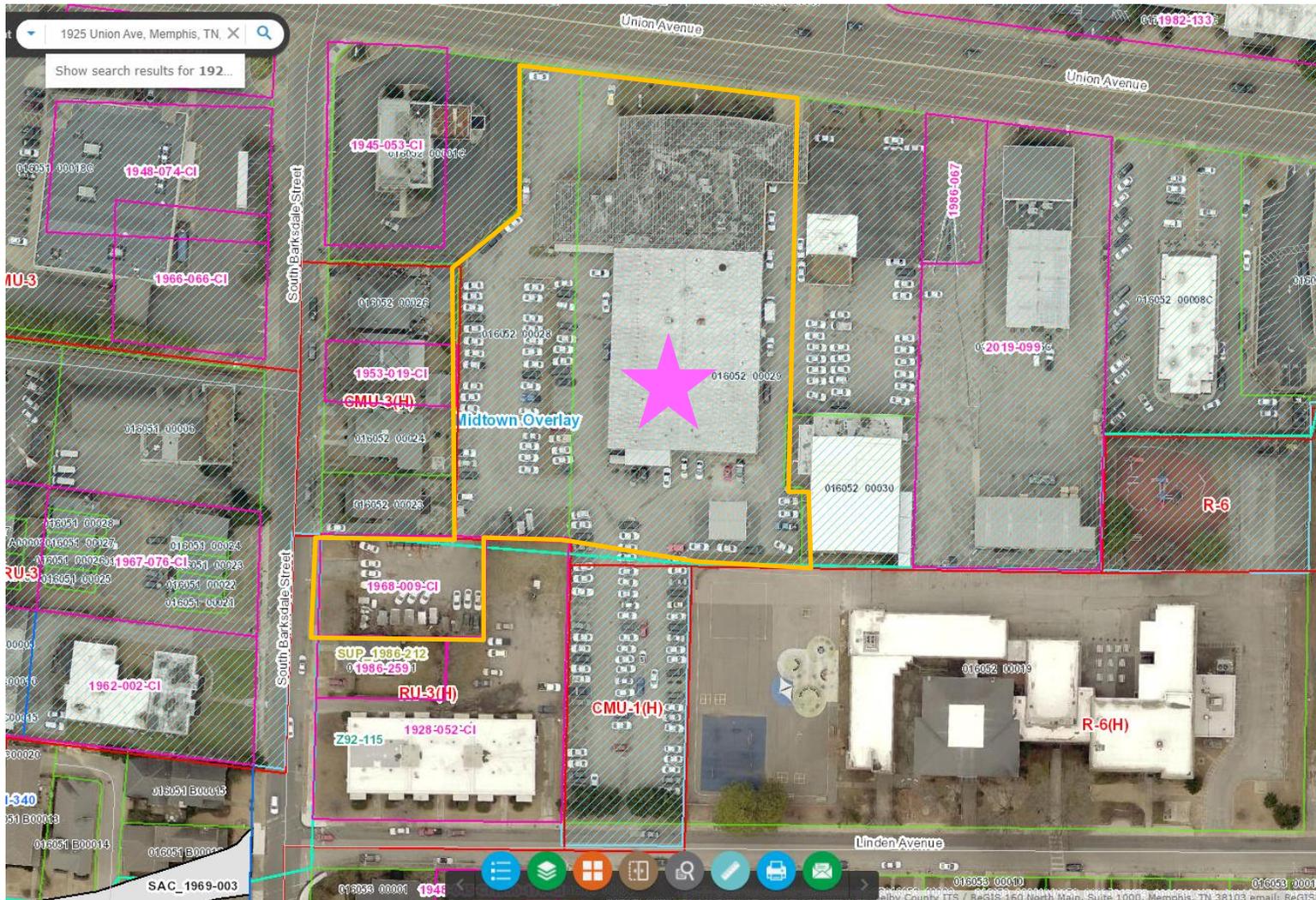
**AERIAL**



**ANOTHER AERIAL PERSPECTIVE – GOOGLE EARTH PRO**



**ZONING MAP**



Subject property indicated by a pink star and highlighted in orange

**Existing Zoning:** Commercial Mixed Use – 3 (CMU-3) and Residential Urban – 3 with Historic Overlay (RU-3(H)) with Midtown Overlay

**Surrounding Zoning**

**North:** Commercial Mixed Use – 3 (CMU-3)

**East:** Commercial Mixed Use – 3 (CMU-3)

**South:** Commercial Mixed Use – 1 with Historic Overlay (CMU-1(H))

**West:** Commercial Mixed Use – 3 (CMU-3) with some Historic

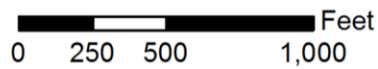
LAND USE MAP



LandUse

- |   |                           |   |            |
|---|---------------------------|---|------------|
|  | SINGLE-FAMILY             |  | OFFICE     |
|  | MULTI-FAMILY              |  | INDUSTRIAL |
|  | INSTITUTIONAL             |  | PARKING    |
|  | COMMERCIAL                |  | VACANT     |
|  | RECREATIONAL / OPEN SPACE |   |            |

Subject property indicated by a pink star



**SITE PHOTOS**



View of subject site from Union Avenue looking south



View of subject site from Union Avenue looking southwest

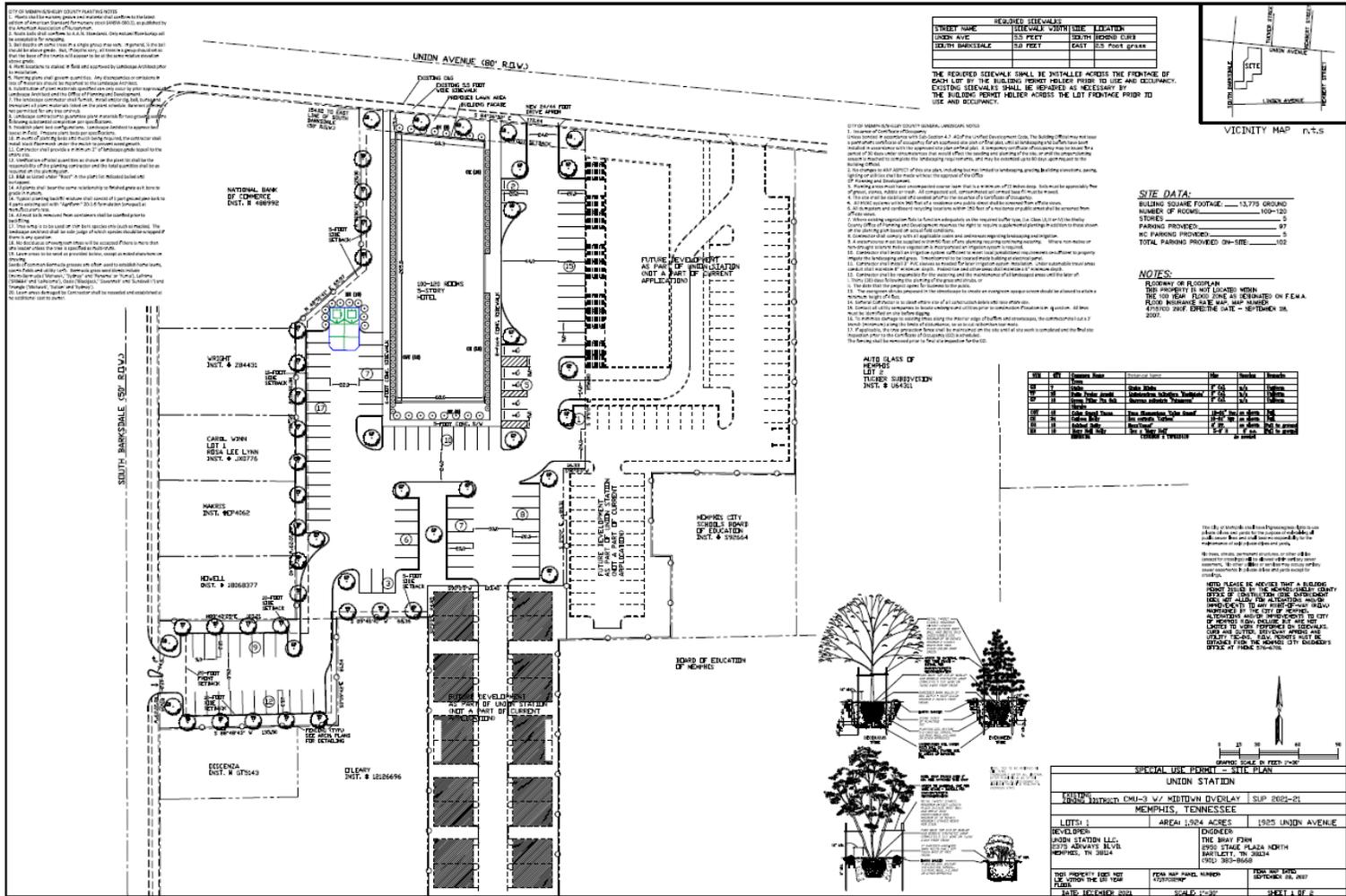


View of subject site from S Barksdale entrance looking east



View of subject site from Linden Avenue looking north

**SITE PLAN**





**RENDERINGS**



**(Renderings have not been revised to reflect updated site plan)**



**(Renderings have not been revised to reflect updated site plan)**

**OTHER NEARBY EXAMPLES OF URBAN FRONTAGES – SEEN FROM GOOGLE EARTH PRO**  
**OVERTON SQUARE – SHOPFRONT FRONTAGE (MIN 80% BUILDING FRONTAGE)**



**RENASANT BANK AND CHIPOTLE – NO FRONTAGE ASSIGNMENT UNDER THE UDC**



**THE CITIZEN APARTMENTS – NO FRONTAGE ASSIGNMENT UNDER THE UDC**



**KROGER – NO FRONTAGE ASSIGNMENT UNDER THE UDC**



## MEMPHIS INNOVATION CORRIDOR TOD PLAN

Below are some excerpts from the aforementioned Transit Oriented Development plan currently in the implementation phase with Memphis 3.0. This site is right along the corridor, only tens of feet down from a planned stop along the route. This site is mentioned as a spot for redevelopment in the plan.

### Sub Area 3

#### Existing Conditions and Opportunities

This sub area encompasses the four stations within the Midtown sub area. The four stations are Belvedere, McLean/Auburndale, Cooper, and Hollywood.

This is the first sub area that is primarily running through existing low-density residential neighborhoods.

The frontage on Union Avenue is primarily auto-oriented commercial uses with larger parking lots and a poor sense of walkability.

McLean/Auburndale and Cooper stations are in the Urban Corridor/Center station typology due to their intersection with prominent north-south corridors and the density of recent developments at those stations.

East of the McLean/Auburndale station is the former

Memphis Police facility which is a large redevelopment site for this area of the city considering the smaller size of the typical parcel in the area.

There have been a few notable recent developments in this sub area. The Citizen at McLean and Union and the Memphian Hotel on Cooper are developments that should inspire future projects along the corridor in this area.



### Station Area Concept Plan

This station area concept plan map shows the potential impact of the TOD plan on the areas in between stations. Each Midtown station is only a few blocks apart and the impact of each station will overlap with one another resulting in a more comprehensive approach to future development.

Throughout this sub area there is a mixture of mixed-use developments primarily located close to the stations themselves, and in between stations is a mix of residential and commercial buildings.

Some key common principles of this concept plan include promoting street frontage for all new development and putting parking in the rear of buildings and shared between buildings, especially for the longer stretch of commercial buildings on the south

side of Union between McLean and Cooper.

This development plan would promote a more walkable neighborhood for existing and new residents in the area and could make this an even more attractive neighborhood for commuters to the Downtown, Medical District, and University with this direct access to the BRT.



December 2021

Memphis Innovation Corridor | TOD Plan

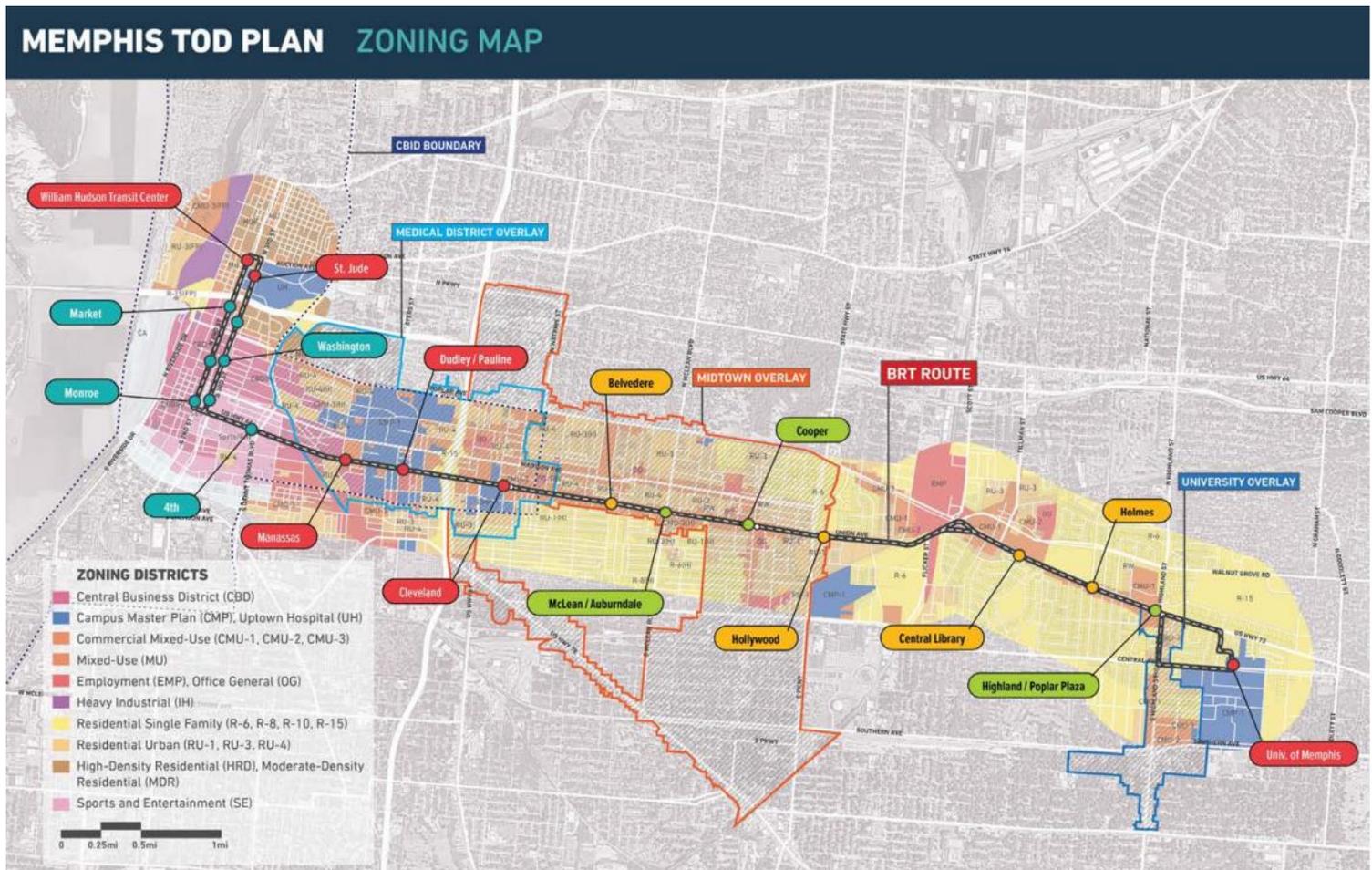
In the photo above, the red arrow indicates the former police site reimagined as buildings that front right along Union with a wide frontage. This can be further evidenced with the image on the next page. The former police station site is highlighted again by a red arrow.



**MCLEAN AUBURDALE STATION  
 CONCEPT PLAN**

The Concept Plan diagram shows how the Citizen development could inspire future developments in the area. More mixed-use development is possible at these key intersections where higher density development is already happening.

A mixture of residential building types ensure the scale of development is reflective of the surrounding neighborhoods and offers different living options for future residents. Providing public space and commercial uses along the corridor will be key to ensuring the area retains a neighborhood feel while providing things to do for residents.



In the Medical District Overlay, Union Avenue is designated a Shopfront frontage but that

frontage ends at Kimbrough/McNeil and does not continue the Midtown Overlay. This

December 2021

plan recommends that frontage requirements extend on Union Avenue throughout the Midtown Overlay. Further analysis is required to determine recommendations for specific frontage and locations along the corridor.

### Access Management Standards

Access management controls vehicle access to properties

included in the UDC as part of a future Zoning Text Amendment.

### Transit Overlay District

### District Intent Statement

# Conclusion

Implementation of the mConnect is anticipated in 2026. Transit oriented development along the Innovation Corridor will go hand in hand with guiding sustainable growth in Memphis and improving the pedestrian environment. Encouraging increased density and public infrastructure improvements through TOD planning will provide more opportunities to both live and work along the Corridor and support the use of BRT and other sustainable transportation options.

## Short Term Implementation Steps

- Analyze and rezone high-intensity, auto-oriented CMU-3 zoning districts along the corridor
- Amend the UDC to simplify overlays and apply street frontage requirements to Union Avenue throughout the Midtown Overlay
- Adopt the Transit Overlay District into the Memphis & Shelby County Unified Development Code
- Evaluate access management standards along the corridor
- Prioritize the implementation of programmed and recommended network improvement projects to strengthen multi-modal connections between stations

In the above images and texts, the plan shows that one of the main implementation steps of the TOD plan is to amend the UDC to extend more Shopfront frontage along Union Avenue east of the Medical District, which would cover this specific site. This frontage would cause any new buildings to have 80% frontage along Union Avenue.

## STAFF ANALYSIS

### Request

The application and letter of intent have been added to this report.

The request is for a 100-120 room hotel located at 1925 Union Avenue.

### Approval Criteria

Staff agrees the approval criteria in regard special use permits as set out in Section 9.6.9 of the Unified Development Code are met.

#### *9.6.9 Approval Criteria*

*No special use permit or planned development shall be approved unless the following findings are made concerning the application:*

- 9.6.9A The project will not have a substantial or undue adverse effect upon adjacent property, the character of the neighborhood, traffic conditions, parking, utility facilities and other matters affecting the public health, safety, and general welfare.*
- 9.6.9B The project will be constructed, arranged and operated so as to be compatible with the immediate vicinity and not interfere with the development and use of adjacent property in accordance with the applicable district regulations.*
- 9.6.9C The project will be served adequately by essential public facilities and services such as streets, parking, drainage, refuse disposal, fire protection and emergency services, water and sewers; or that the applicant will provide adequately for such services.*
- 9.6.9D The project will not result in the destruction, loss or damage of any feature determined by the governing bodies to be of significant natural, scenic or historic importance.*
- 9.6.9E The project complies with all additional standards imposed on it by any particular provisions authorizing such use.*
- 9.6.9F The request will not adversely affect any plans to be considered (see Chapter 1.9), or violate the character of existing standards for development of the adjacent properties.*
- 9.6.9G The governing bodies may impose conditions to minimize adverse effects on the neighborhood or on public facilities, and to insure compatibility of the proposed development with surrounding properties, uses, and the purpose and intent of this development code.*
- 9.6.9H Any decision to deny a special use permit request to place, construct, or modify personal wireless service facilities shall be in writing and supported by substantial evidence contained in a written record, per the Telecommunications Act of 1996, 47 USC 332(c)(7)(B)(iii). The review body may not take into account any environmental or health concerns.*

### Site Description

The subject property is +/- 1.92 acres split among three separate parcels that front along Union Avenue, South Barksdale Street, and Linden Avenue. The main frontage for this proposal would be along Union Avenue. The previous use of this site was the City of Memphis police station where many of the police vehicles were kept and before that it was the location of Hutchison School. The site is currently split zoned between Commercial Mixed Use – 3 (CMU-3) and Residential Urban – 3 with Historic Overlay (RU-3(H)) in Central Gardens. The proposal would include only a hotel on this site. The hotel will be 5 stories, with up to 120 hotel rooms.

### **SITE PLAN REVIEW**

- If approved, the hotel use would meet the UDC
- The height meets the UDC and the Midtown Overlay
- Parking spaces provided: 81, parking spaces needed with reductions 80-85
- Access to the site meets the UDC with one curb cut on Union and one on Barksdale
- Setbacks meet the regulations for the CMU-3 district and Midtown Overlay
- \*Currently this site has no frontage assignment per the Midtown Overlay. However, in the future, much of Union Avenue including this site will have a “Shopfront” frontage assignment, which means that there will need to be a minimum of 80% building frontage along Union Avenue. As the site plan is now, the proposal does not meet this regulation, at only 40%. See above for other examples of nearby Urban and similar frontages in Midtown as well as pages 16-20.\*

### **Consistency with Memphis 3.0**

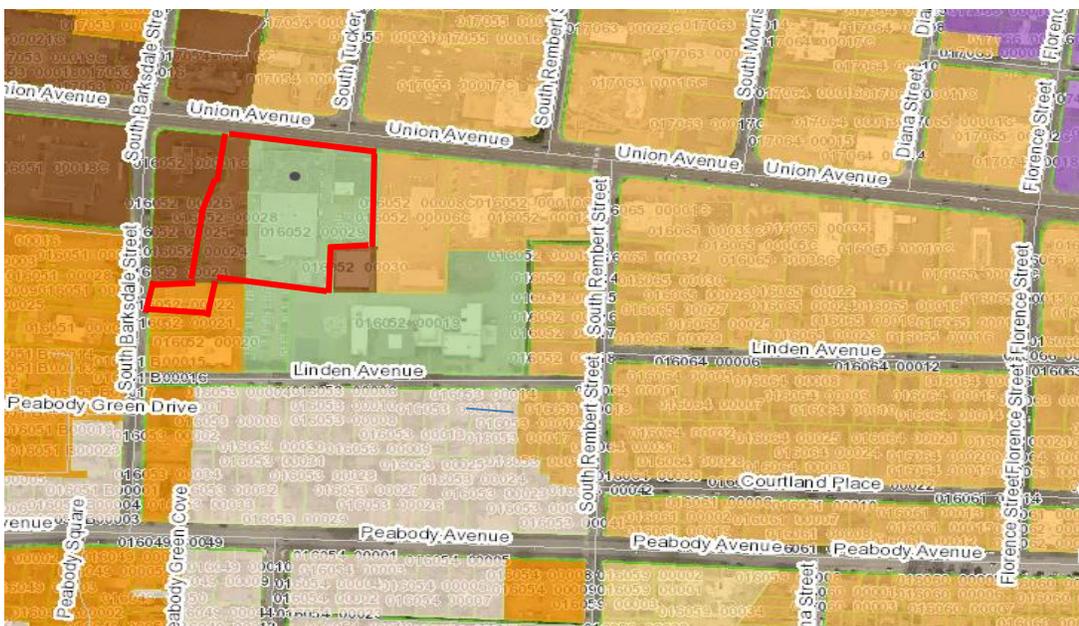
Site Address/location: 1925 Union Avenue, 0 Union Avenue, 192 S Barksdale

Land Use Designation (see pages 88, 104 & 108 for details): Public & Quasi-Public Buildings & Uses, High Intensity Commercial and Service (CSH), Primarily Multifamily Neighborhood (NM)

**Based on the future land use planning map, the proposal IS CONSISTENT with the Memphis 3.0 Comprehensive Plan.**

The following information about the land use designation can be found on pages 76 – 122:

#### **1. Future Land Use Planning Map:**



The red box indicates the application sites on the Future Land Use Map.

## 2. Land Use Description & Applicability:

**1925 Union is designated** as a Public and Quasi-Public Building and Uses (PQP). PQP areas are public buildings used for recreation or as an institution, such as schools, churches, community center, libraries, and civic buildings. These places are easily accessible by foot or automobile and have formal access points that address the street. Public and/or recreational buildings and spaces may be temporary uses. See graphic portrayal to the right.



### “PQP” Goals/Objectives:

Institutional uses contributing to anchors, anchor neighborhoods, residential communities, contributions to civic space framework.

### “PQP” Form & Location Characteristics:

Recreational and Institutional uses. Redevelopment where PQP is applied on the Future Land Use Map should consider initially development consistent with the surrounding land use type.

**0 Union Avenue is designated** as a High Intensity Commercial and Service area (CSH). CSH areas are similar to low intensity areas in that they also attract residents from near and far for various commercial businesses and can service greater than a 3-mile radius. These areas are auto-oriented and located outside of anchors. Building sizes can vary in height, but have a much greater floor footprint with often more leasable space than low intensity areas, and often will not be suitable for future intensification of the area. See graphic portrayal to the right.



### “CSH” Goals/Objectives:

Maintenance of larger-scale commercial centers where viable.

### “CSH” Form & Location Characteristics:

Commercial and services uses with mixed use encouraged along avenues, boulevards and parkways as identified in the Street Types Map. One to seven stories in height.

**192 S Barksdale is designated** as a Primarily Multifamily Neighborhood (NM). NM areas are characterized by their house and block size buildings that are a combination of attached, detached and semi attached homes. These neighborhoods are major residential hubs that consist of apartment complexes and condominiums, and located greater than a 10-minute walk outside of the closest anchor. See graphic portrayal to the right.



### “NM” Goals/Objectives:

Improved development patterns along auto-oriented commercial corridors, revitalization.

### “NM” Form & Location Characteristics:



### **Conclusions**

The applicant is seeking to put a hotel located at 1925 Union Avenue, the former location of a police station and Hutchison School before that.

The hotel is to be 5 stories and have approximately 100-120 hotel rooms.

Union Avenue is one of the cities' most traveled streets and an important connection from our downtown core, through midtown, to east Memphis. It has been in transition over the past decade, with a blend of more auto-centric to more pedestrian oriented designs, as with the nearby Citizen, Kroger, Renasant Bank, etc. This will soon be accelerated with the implementation of the city's new Transit Oriented Development (TOD) plan (<https://www.memphis3point0.com/innovation-corridor>) that will include adding frontage designations along Union. These frontage designations will begin to pull buildings closer to the street, increase transparency and decrease the vast parking lots that are currently between the building and sidewalk. The current site plan only shows approximately 40% frontage along Union. The new frontages, when adopted, will require between 60% and 80% frontage. Since this site would be the first major development along Union since the adoption and introduction of the TOD plan, staff believes that the 60% frontage would help set the tone as Union revitalizes with the new plan and future frontage designations in mind.

Increasing the building's frontage along Union from 40% to 60% will not require a change to the current site design for the drives, parking, sidewalks, etc.

Moreover, the overall site plan looks to meet the regulations of the UDC with parking, height, setbacks, landscaping, among other aspects. However, with potential frontage design changes, staff feels that the site shall be subject to the Administrative Site Plan Review process prior to a building permit being issued. This will help to ensure conformance with UDC regulations and conditions of approval below.

This project will not have a substantial or undue adverse effect upon adjacent property, the character of the neighborhood, traffic conditions, parking, utility facilities and other matters affecting the public health, safety, and general welfare.

### **RECOMMENDATION**

Staff recommends approval with conditions.

#### **Conditions**

1. Parking shall be in accordance with section 4.5.3 of the UDC.
2. The buildings along Union Avenue shall have a minimum of 60% building frontage. This condition shall be massaged as a part of the Administrative Site Plan Review process.
3. Light fixtures installed on the site shall meet the requirements and standards of the Unified Development Code.
4. Lighting for parking shall be arranged/positioned to prevent direct glare onto any residential property.

5. No drive-thru restaurant uses shall be permitted on this site or the adjacent future retail development site to the east.
6. The applicant may need to submit a Trip Generation Report. This proposal shall be subject to the City Engineering Memorandum of Conformance process.
7. The City Engineer shall approve the design, number and location of curb cuts.
8. Any existing nonconforming curb cuts shall be modified to meet current City Standards or closed with curb, gutter and sidewalk.
9. The applicant shall provide a minimum 6-foot sidewalk along Union Avenue.

## **DEPARTMENTAL COMMENTS**

The following comments were provided by agencies to which this application was referred:

### **City/County Engineer:**

CASE: SUP-21-039 NAME: Union Station Hotel at 1925 Union

1. Standard Subdivision Contract or Right-Of-Way Permit as required in Section 5.5.5 of the Unified Development Code.

### **Sewers:**

2. The availability of City sanitary sewer is unknown at this time. Once the developer has submitted proposed sewer discharge rates to the City's Sewer Design Dept, a determination can be made as to available sewer capacity.

3. If a sewer connection is permitted for this development, all sewer connections must be designed and installed by the developer. This service is no longer offered by the Public Works Division.

### **Roads:**

4. The Developer shall be responsible for the repair and/or replacement of all existing curb and gutter along the frontage of this site as necessary.

5. All existing sidewalks and curb openings along the frontage of this site shall be inspected for ADA compliance. The developer shall be responsible for any reconstruction or repair necessary to meet City standards.

6. Increase width of sidewalk adjacent to Union Ave to 6 feet in width via the creation of a pedestrian easement.

### **Traffic Control Provisions:**

7. The developer shall provide a traffic control plan to the city engineer that shows the phasing for each street frontage during demolition and construction of curb gutter and sidewalk. Upon completion of sidewalk and curb and gutter improvements, a minimum 5 foot wide pedestrian pathway shall be provided throughout the remainder of the project. In the event that the existing right of way width does not allow for a 5 foot clear pedestrian path, an exception may be considered.

8. Any closure of the right of way shall be time limited to the active demolition and construction of sidewalks and curb and gutter. Continuous unwarranted closure of the right of way shall not be allowed for the duration of the project. The developer shall provide on the traffic control plan, the time needed per phase to complete that portion of the work. Time limits will begin on the day of closure and will be monitored by the Engineering construction inspectors on the job.

9. The developer's engineer shall submit a Trip Generation Report that documents the proposed land use, scope and anticipated traffic demand associated with the proposed development. A detailed Traffic Impact Study will

be required when the accepted Trip Generation Report indicates that the number for projected trips meets or exceeds the criteria listed in Section 210-Traffic Impact Policy for Land Development of the City of Memphis Division of Engineering Design and Policy Review Manual. Any required Traffic Impact Study will need to be formally approved by the City of Memphis, Traffic Engineering Department.

**Curb Cuts/Access:**

10. The City Engineer shall approve the design, number and location of curb cuts.
11. Any existing nonconforming curb cuts shall be modified to meet current City Standards or closed with curb, gutter and sidewalk.
12. A pedestrian easement may be required behind any curb cut on Union Avenue to meet ADA compliance.

**Drainage:**

13. A grading and drainage plan for the site shall be submitted to the City Engineer for review and approval prior to recording of the final plat.
14. This development is located in a sensitive drainage basin (Lick Creek 2-K). Drainage improvements, including possible on-site detention, shall be provided under a Standard Subdivision contract in accordance with Unified Development Code and the City of Memphis/Shelby County Storm Water Management Manual.
15. Drainage data for assessment of on-site detention requirements shall be submitted to the City Engineer.
16. The following note shall be placed on the final plat of any development requiring on-site storm water detention facilities: The areas denoted by "Reserved for Storm Water Detention" shall not be used as a building site or filled without first obtaining written permission from the City and/or County Engineer. The storm water detention systems located in these areas, except for those parts located in a public drainage easement, shall be owned and maintained by the property owner and/or property owners' association. Such maintenance shall be performed so as to ensure that the system operates in accordance with the approved plan on file in the City and/or County Engineer's Office. Such maintenance shall include, but not be limited to removal of sedimentation, fallen objects, debris and trash, mowing, outlet cleaning, and repair of drainage structures.
17. The developer should be aware of his obligation under 40 CFR 122.26(b)(14) and TCA 69-3-101 et. seq. to submit a Notice of Intent (NOI) to the Tennessee Division of Water Pollution Control to address the discharge of storm water associated with the clearing and grading activity on this site.

**City/County Fire Division:**

Date Reviewed: 1/7/22  
Reviewed by: J. Stinson  
Address or Site Reference: Union/Barksdale

- All design and construction shall comply with the 2015 edition of the International Fire Code (as locally amended) and referenced standards.
- Fire apparatus access shall comply with section 503. Where security gates are installed that affect required fire apparatus access roads, they shall comply with section 503.6 (as amended).
- Fire protection water supplies (including fire hydrants) shall comply with section 507.
- Where fire apparatus access roads or a water supply for fire protection are required to be installed, such protection shall be installed and made serviceable prior to and during the time of construction except when approved alternate methods of protection are provided.
- A detailed plans review will be conducted by the Memphis Fire Prevention Bureau upon receipt of complete construction documents. Plans shall be submitted to the Shelby County Office of Code Enforcement.

**City Real Estate:** No comments received.

**City/County Health Department:** No comments received.

**Shelby County Schools:** No comments received.

**Construction Code Enforcement:** No comments received.

**Memphis Light, Gas and Water:** No comments received.

**Office of Sustainability and Resilience:** No comments received.

**Office of Comprehensive Planning:** No comments received.

**APPLICATION**



**MEMPHIS AND SHELBY COUNTY**

**Record Summary for Special Use Permit**

**Record Detail Information**

Record Type: Special Use Permit

Record Status: Pending

Opened Date: December 9, 2021

Record Number: SUP 2021-039

Expiration Date:

Record Name: Union Station

Description of Work: Application for a Special Use Permit to permit a hotel.

Parent Record Number:

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Address: 1925 UNION AVE, MEMPHIS 38104

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**Owner Information**

Primary	Owner Name	Owner Address	Owner Phone
Yes	Union Station LLC	1779 Kirby Parkway, MEMPHIS, TN 38138	(901) 210-0345
	MEMPHIS CITY OF	125 N MAIN ST, MEMPHIS, TN 38103	

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**Parcel Information**

Parcel No:  
016052 00029

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**APPROVAL CRITERIA**

The project will not have a substantial or undue adverse effect upon adjacent property, the character of the neighborhood, traffic conditions, parking, utility facilities and other matters affecting the public health, safety, and general welfare (UDC Sub-Section 9.6.9A).	Placeholder
UDC Sub-Section 9.6.9B	Placeholder
UDC Sub-Section 9.6.9C	Placeholder
UDC Sub-Section 9.6.9D	Placeholder
UDC Sub-Section 9.6.9E	Placeholder
UDC Sub-Section 9.6.9F	Placeholder

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**GIS INFORMATION**

Central Business Improvement District	No
Case Layer	BOA1986-067, BOA1928-052-CI, null, Z92-115
Class	C
Downtown Fire District	No
Historic District	Central Gardens
Land Use	MULTI-FAMILY
Municipality	MEMPHIS
Overlay/Special Purpose District	Midtown Overlay
Zoning	RU-3
State Route	1
Lot	N PT 1&2
Subdivision	TUCKER
Planned Development District	-

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**Data Tables**

**ADDRESS AND PARCEL LIST**

Property Address: 1925 Union  
 Property Parcel Number: 016052 00029

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Property Address: 0 Union Avenue  
 Property Parcel Number: 016052 00028

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Property Address: 192 South Barksdale St

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Property Parcel Number: 016052 00022

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**AREA INFORMATION**

Name:	Union Station
Size (Acres):	1.924
Existing Use of Property:	Police Station and accessory parking
Requested Use of Property:	Hotel and Accessory Parking

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**LETTER OF INTENT**

December 9, 2021

Josh Whitehead, AICP  
Planning Director/Administrator  
Memphis and Shelby County  
Division of Planning and Development  
City Hall, 125 N. Main St., Ste. 468  
Memphis, Tennessee 38103

RE: Application for Special Use Permit – 1925 Union Avenue  
Memphis, Tennessee

Dear Josh:

We are pleased to submit, on behalf of G2 Venture Group, LLC and the property owners, the City of Memphis, an application for a Special Use Permit at 1925 Union Avenue. Located on the south side of Union Avenue, east of South Barksdale, the property contains three parcels and part of a fourth to accommodate the proposed hotel development.

The property is home to the former Memphis Police Station and zoned Commercial Mixed Use (CMU-3) and Residential Urban (RU-3) and is located in the Midtown Overlay District. Ideally located near employment centers, the Medical Center and civic attractions, this location is perfect for the proposed five story, 110-120 room hotel.

The purpose of this application is to seek approval of a Special Use Permit permitting the proposed hotel at this site. The hotel is the first part of a proposed mixed development that includes retail and residential units to the south. Specifically, this national flag, focused service hotel will provide,

- Business Center
- Fitness Center
- Pool
- Outdoor Patio
- Private Bistro for Hotel Customers
- Room Rates – Starting at \$130/night

At this location, Union Avenue is a six lane, 80' right of way. Because of the volume of traffic, the hotel is oriented perpendicular to Union Avenue, thereby bringing the hotel customer traffic into the site for drop off and pick up at the front door of the hotel. Ample landscaping and pedestrian friendly streetscape are provided to promote a pedestrian friendly environment.

The project complies with all additional standards imposed on it by any particular provisions authorizing such use. Specifically, 9.6.9 Special Use Permit Approval Criteria.

The project will not have a substantial or undue adverse effect upon adjacent property, the character of the neighborhood, traffic conditions, parking, utility facilities and other matters affecting the public health, safety, and general welfare (UDC sub-section 9.6.9A).

December 9, 2021  
Page 2

***The proposed hotel will be a contributing use to the overall Midtown area by providing accommodations near the Medical District and other employment centers. The hotel as well as the overall development will be compatible with the surrounding areas Traffic generated will be significantly less than the former police station.***

The project will be constructed, arranged, and operated so as to be compatible with the immediate vicinity and not interfere with the development and use of adjacent property in accordance with the applicable district regulations (UDC sub-section 9.6.9B).

***The proposed layout of the Hotel is consistent with the current development pattern. The linear nature of the property and the desire to bring the traffic into the site and not allow it to back up on Union Avenue supports the proposed site plan and the future development of the site.***

The project will be served by essential public facilities and services such as streets, parking, drainage, refuse disposal, fire protection and emergency services, water, and sewers; or that the applicant will provide adequately for such services (UDC sub-section 9.6.9C).

***This project is a redevelopment of a City of Memphis Police Station where all public facilities currently exist.***

The project will not result in the destruction, loss or damage of any feature determined by the governing bodies to be of significant natural, scenic, or historic importance (UDC sub-section 9.6.9D).

***The project will not result in the destruction, loss or damage of any feature determined by the governing bodies to be of significant natural, scenic, or historic importance. The site was fully developed at one time.***

The project complies with all additional standards imposed on it by any particular provisions authorizing such use (UDC sub-section 9.6.9E).

***This project complies with all standards and regulations authorizing the proposed use.***

The request will not adversely affect any plans to be considered (see UDC Chapter 1.9) or violate the character of existing standards for development of the adjacent properties (UDC sub-section 9.6.9F)

***This request will not adversely affect the Midtown Overlay District Regulations, Memphis 3.0, or other plans to be considered (see Chapter 1.9). The style and construction of the Hotel will be consistent and complimentary to the existing homes in Cooper Young, or violate the character of existing standards for development of the adjacent properties.***

Thank you for your time and consideration in this matter. Feel free to contact me if you have any questions.

Sincerely,

Solomito Land Planning



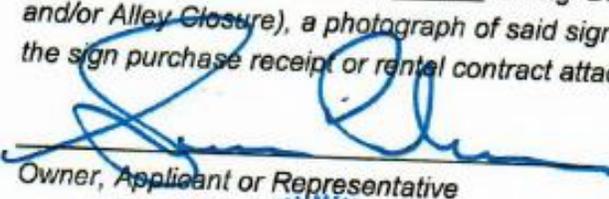
Brenda Solomito Basar  
Land Planner

**SIGN AFFIDAVIT**

**AFFIDAVIT**

Shelby County  
State of Tennessee

I, Shawn Massey, being duly sworn, depose and say that at 1:30 am/pm on the 29 day of December, 2021, I posted 2 Public Notice Sign(s) pertaining to Case No. SUP 2021-39 at Union Ave and Linden, providing notice of a Public Hearing before the X Land Use Control Board, X Memphis City Council,        Shelby County Board of Commissioners for consideration of a proposed Land Use Action (       Planned Development, X Special Use Permit,        Zoning District Map Amendment,        Street and/or Alley Closure), a photograph of said sign(s) being attached hereon and a copy of the sign purchase receipt or rental contract attached hereto.

  
\_\_\_\_\_  
Owner, Applicant or Representative

12-29-21  
Date

Subscribed and sworn to before me this 29 day of December, 2021.

  
\_\_\_\_\_  
Notary Public



My commission expires: 5/17/2025





**LETTERS RECEIVED**

No letters have been received at the time of completion of this report.



**MEMPHIS AND  
SHELBY COUNTY** **DIVISION OF PLANNING  
AND DEVELOPMENT**

City Hall – 125 N. Main Street, Suite 468 – Memphis, Tennessee 38103 – (901) 636-6619

January 18, 2022

Sam Patel – Union Station LLC.  
1779 Kirby Parkway  
Memphis, TN 38138

*Sent via electronic mail to:* [brenda@solomitolandplanning.com](mailto:brenda@solomitolandplanning.com)

Case Number: SUP 2021-39  
LUCB Recommendation: Approval with conditions

Dear applicant,

On Thursday, January 13, 2022, the Memphis and Shelby County Land Use Control Board recommended **approval** of your special use permit application to allow a hotel located at 1925 Union Avenue (south side of Union, just east of Barksdale Street), subject to the following conditions:

1. Parking shall be in accordance with section 4.5.3 of the UDC.
2. The buildings along Union Avenue shall have a minimum of 60% building frontage. This condition shall be massaged as a part of the Administrative Site Plan Review process.
3. Light fixtures installed on the site shall meet the requirements and standards of the Unified Development Code.
4. Lighting for parking shall be arranged/positioned to prevent direct glare onto any residential property.
5. No drive-thru restaurant uses shall be permitted on this site or the adjacent future retail development site to the east without first receiving a recommendation from the Land Use Control Board followed with a final disposition by the City Council.
6. The applicant may need to submit a Trip Generation Report. This proposal shall be subject to the City Engineering Memorandum of Conformance process.
7. The City Engineer shall approve the design, number and location of curb cuts.

**Letter to Applicant**  
**SUP 2021-39**

8. Any existing nonconforming curb cuts shall be modified to meet current City Standards or closed with curb, gutter and sidewalk.
9. The applicant shall provide a minimum 6-foot sidewalk along Union Avenue.

This application will be forwarded, for final action, to the Council of the City of Memphis. The Council will review your application in a committee meeting prior to voting on it in a public hearing. The applicant or the applicant's representative(s) shall be in attendance at all meetings and hearings.

It is the applicant's responsibility to contact the City Council Records Office to determine when the application is scheduled to be heard at committee and in public session. The City Council Records Office may be reached at (901) 636-6792.

If for some reason you choose to withdraw your application, a letter should be mailed to the Land Use and Development Services Department of the Division of Planning and Development at the address provided above or emailed to the address provided below.

If you have questions regarding this matter, please feel free to contact me at (901) 636-6619 or via email at [lucas.skinner@memphistn.gov](mailto:lucas.skinner@memphistn.gov).

Respectfully,



Lucas Skinner  
Municipal Planner  
Land Use and Development Services  
Division of Planning and Development

File